Shellharbour Retail Park Overview

Stockland

Stockland Shellharbour Retail Park is a spacious bulky goods centre situated on a 7.5 hectare site near Stockland Shellharbour town centre.

Anchored by Woolworths, Dan Murphy's, and Chemist Warehouse, the retail park also features other prominent large-format retail tenancies such as Baby Bunting, Petbarn, Rebel Sport, Roni's and TK Maxx.

22,276sqm
GLA

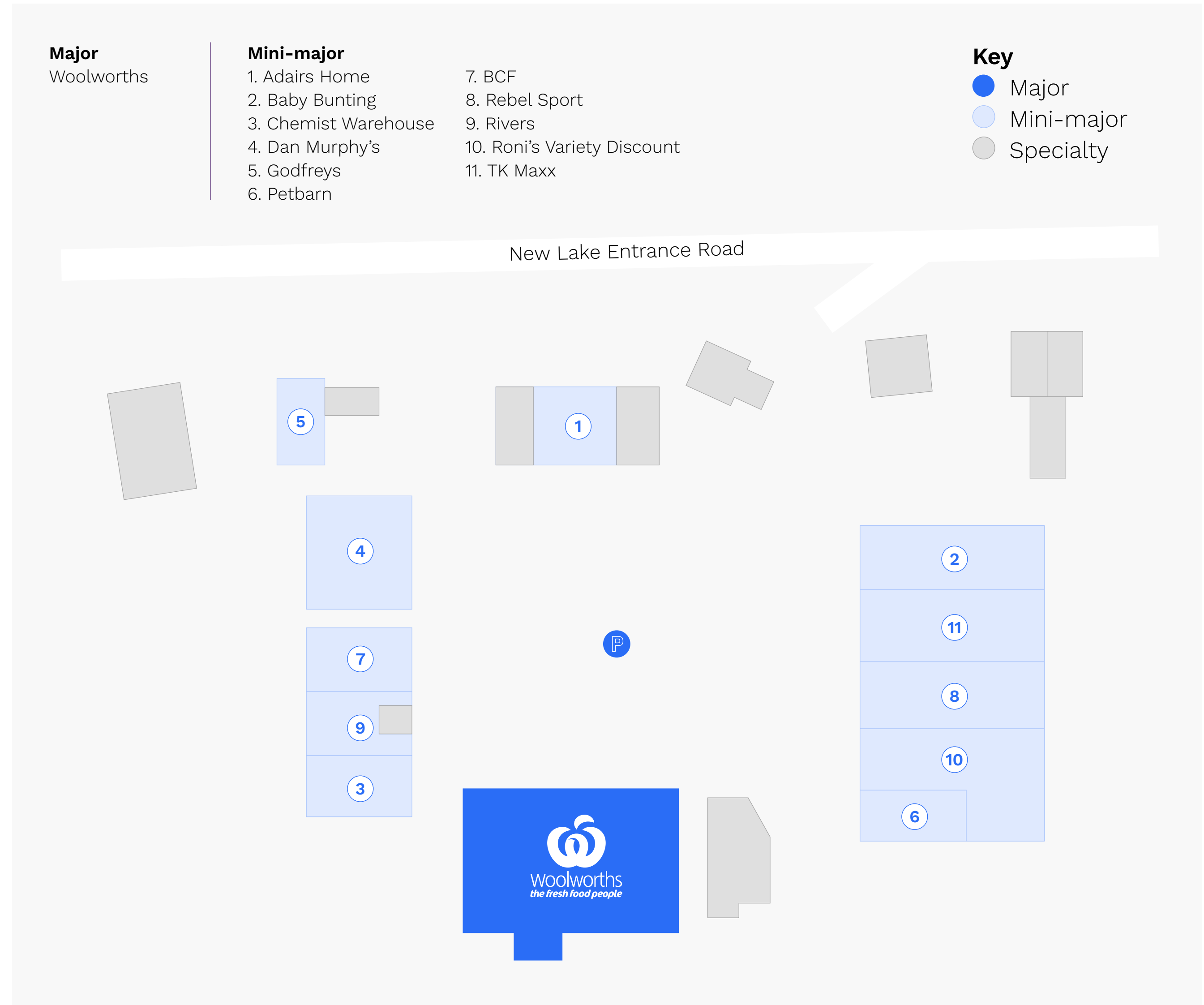**789**
Car spaces

23
Total no. of stores

133.41M
MAT sales

$4,139
Specialty sales $PSM

$48.37
Average spend

Stockland Shellharbour Retail Park
P: 02 4296 8266
stockland.com.au/shellharbour
Stockland Shellharbour Retail Park,
Lake Entrance Road, Shellharbour NSW 2529

Information is accurate as at 30 June 2023. Centre map is indicative only and subject to change. Does not include ATMs. Cinemas are included as majors. Specialty stores are less than 400 square metres GLA. Mini-majors are greater than 400 square metres GLA. Pad and S Connect sites are not included in the specialty count. Specialty sales $PSM as per MLA. Figures provided are inc GST.

Major
Woolworths

Mini-major
1. Adairs Home
2. Baby Bunting
3. Chemist Warehouse
4. Dan Murphy's
5. Godfreys
6. Petbarn
7. BCF
8. Rebel Sport
9. Rivers
10. Roni's Variety Discount
11. TK Maxx

Key
- Major
- Mini-major
- Specialty

New Lake Entrance Road
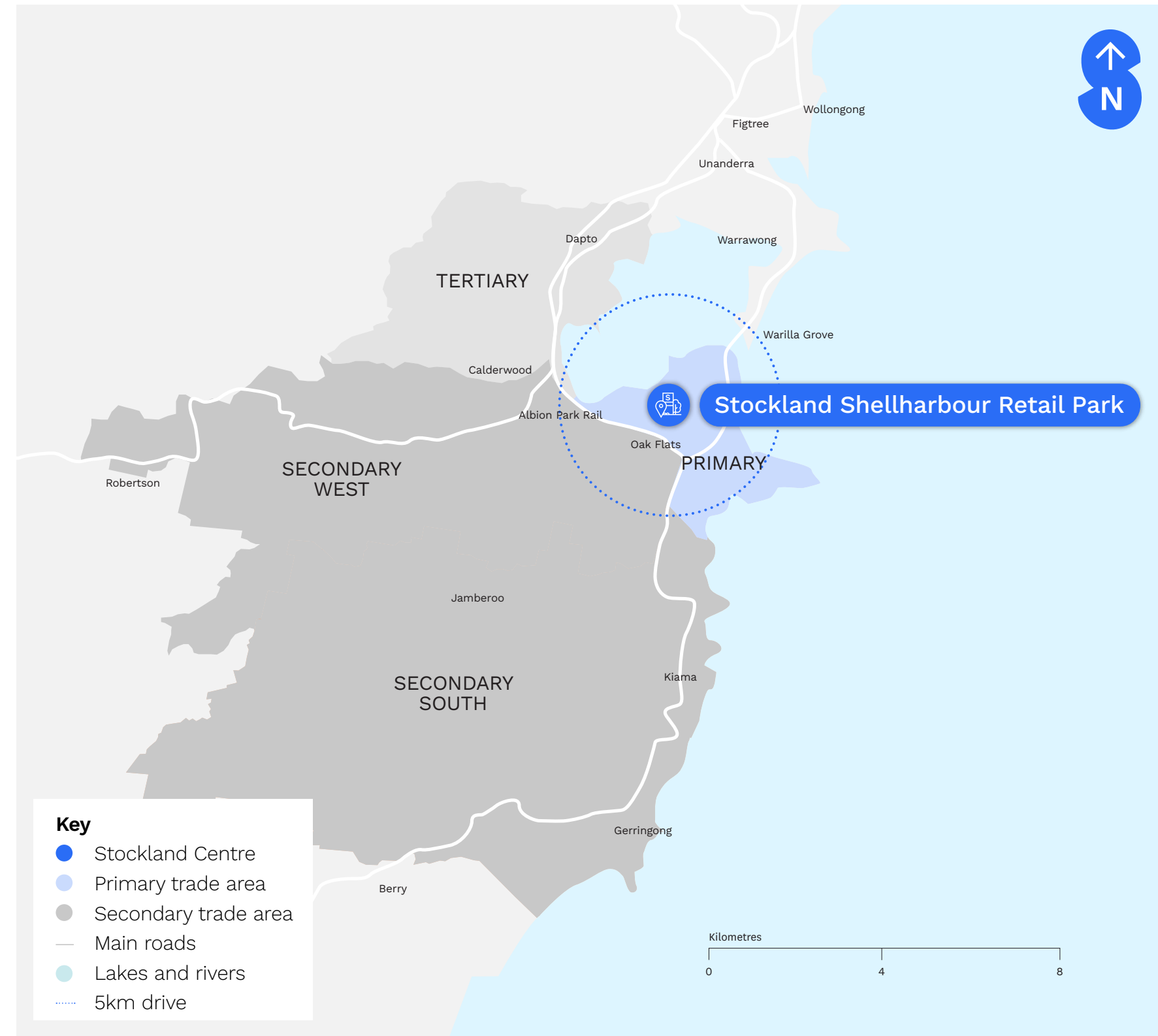
Woolworths
the fresh food people

Shellharbour Retail Park Overview

Stockland

Shellharbour Retail Park is forecast to service a total trade area of 149,808 and a main trade area of 110,380 by 2026. The average household income in the main trade area is $105,558, which is 10.9% higher than the non-metro NSW average. Couples with dependent children make up 41.6% of the main trade area, which also has a high rate of home ownership at 73.8%

Trade Area Map

Key
- Stockland Centre
- Primary trade area
- Secondary trade area
- Main roads
- Lakes and rivers
- 5km drive

Avg. household income
$105,558
in main trade area

Couples with dependent children
41.6%
of main trade area

Average age
41.2
in main trade area

Forecast population
110,380
in main trade area by 2026

Characteristics	Primary Sector	Secondary Sectors		Main TA	Tertiary Sector	Total TA	Rest of NSW Avg.	Aust Avg.
		South	West					
Income Levels								
Average Per Capita Income	$48,572	$58,184	$51,537	$51,224	$47,488	$50,471	$49,683	$55,301
Per Capita Income Variation	-2.2%	17.1%	3.7%	3.7%	-4.4%	1.6%	n.a.	n.a.
Average Household Income	$98,522	$115,458	$111,976	$105,558	$101,503	$104,491	$95,175	$109,594
Household Income Variation	3.5%	21.3%	17.7%	10.9%	6.6%	9.8%	n.a.	n.a.
Average Household Size	2.5	2.5	2.8	2.6	2.7	2.6	2.4	2.5
Age Distribution (% of Pop'n)								
Aged 0-14	17.9%	16.3%	21.3%	18.4%	19.8%	18.7%	17.6%	18.0%
Aged 15-19	6.3%	5.2%	6.1%	6.0%	6.3%	6.1%	5.7%	5.7%
Aged 20-29	11.6%	8.3%	13.3%	11.3%	11.9%	11.4%	11.2%	13.3%
Aged 30-39	11.9%	10.1%	14.3%	12.1%	13.0%	12.3%	11.8%	14.6%
Aged 40-49	12.6%	11.3%	12.4%	12.3%	12.9%	12.4%	11.7%	13.0%
Aged 50-59	13.1%	12.9%	12.0%	12.8%	12.0%	12.6%	12.9%	12.5%
Aged 60+	26.7%	35.9%	20.6%	27.2%	24.0%	26.4%	29.1%	23.0%
Average Age	41.2	45.5	37.5	41.2	39.4	40.7	42.2	39.5
Housing Status (% of H'holds)								
Owner/Purchaser	68.7%	78.7%	80.5%	73.8%	78.0%	74.9%	70.9%	67.4%
Renter	30.0%	18.2%	18.5%	24.5%	21.0%	23.6%	26.9%	30.8%
Birthplace (% of Pop'n)								
Australian Born	83.2%	86.5%	87.9%	85.1%	84.2%	84.9%	88.5%	72.0%
Overseas Born	48.9%	59.1%	45.3%	47.9%	47.2%	47.5%	11.5%	28.0%
• Asia	1.9%	1.0%	1.7%	1.6%	2.5%	1.9%	2.8%	12.1%
• Europe	9.9%	7.9%	7.0%	8.7%	9.5%	8.9%	4.8%	7.2%
• Other	5.0%	4.6%	3.4%	4.5%	3.8%	4.3%	3.9%	8.7%
Family Type (% of Pop'n)								
Couple With Dep't Children	38.8%	41.6%	47.1%	41.6%	42.9%	41.9%	38.4%	44.2%
Couple With Non-Dep't Children	10.2%	8.1%	10.1%	9.7%	9.9%	9.8%	7.4%	7.7%
Couple Without Children	24.1%	31.9%	23.0%	25.6%	23.1%	24.9%	27.1%	23.8%
Single With Dep't Children	10.5%	5.4%	9.1%	9.0%	10.2%	9.3%	9.6%	8.6%
Single With Non-Dep't Children	5.6%	3.0%	3.8%	4.6%	4.9%	4.7%	4.3%	4.0%
Other Family	0.9%	0.7%	0.6%	0.8%	0.7%	0.8%	0.9%	1.0%
Lone Person	9.8%	9.3%	6.3%	8.8%	8.3%	8.7%	12.3%	10.8%

Trade Area Population

Population	Actual				Forecast			
	2011	2016	2021	2022	2026	2031	2036	2041
Primary Sector	47,095	50,851	53,573	54,023	56,023	57,523	58,523	59,023
Secondary Sectors								
• North	20,447	21,655	23,499	23,799	24,799	25,799	26,799	27,799
• South	20,924	21,430	24,808	25,558	29,558	34,058	37,558	40,808
Total Secondary	41,371	43,085	48,307	49,357	54,357	59,857	64,357	68,607
Main Trade Area	**88,466**	**93,936**	**101,880**	**103,380**	**110,380**	**117,380**	**122,880**	**127,630**
Tertiary Sectors	31,634	33,289	35,628	36,228	39,428	44,928	52,428	59,928
Total Trade Area	**120,100**	**127,225**	**137,508**	**139,608**	**149,808**	**162,308**	**175,308**	**187,558**

Map sources: Location IQ, July 2022. **Demographic data**: ABS Census of Population and Housing 2021; Location IQ, July 2022. All due care has been taken in the preparation of this document and as at 30 June 2023, the information in this document is understood to be correct. However, no warranty is given as to the accuracy of the information contained in this document. Trade area maps and population forecasts are provided as an estimation and are indicative only. It should be noted that the information contained in this document should not be taken to be correct at any future date. Trading patterns described in this document will change in the future and this document should not be relied upon in any way to predict future trading patterns. Average annual change (%) numbers provided in this document are calculated using CAGR. The management of Stockland regard the contents of this document as confidential, and retailers should therefore not disclose its contents to any person other than personnel of the retailers involved in the management or promotion of their business at Stockland.