

Design Essentials



WELCOME TO THE DESIGN ESSENTIALS

The elements contained within these Design Essentials have been copied from the Moreton Bay Regional Council approved Structure Plan for your convenience. Copies of the full Structure Plan are available from Council. These elements are designed to create an attractive streetscape that results in a cohesive urban form, while not precluding individual design solutions.

Stockland encourages a variety of architectural styles and materials in the design of your home. Stockland reserves the right to approve works which do not comply with the Design Essentials where considered to be of merit and to vary the requirements of the Design Essentials at its discretion.

The Design Essentials apply in addition to, and not in lieu of other statutory requirements. Approval from your Local Government Authority or a registered building certifier will be required in addition to any approval given by Stockland.

THE APPROVAL PROCESS

Step 1 - Stockland Design Essentials Approval

Before undertaking any building work, you must first obtain written approval from Stockland. In addition to these 'Design Essentials', your builder or architect will need to review the documentation applicable to your property, which is available in the Reference Library of Stockland's online design application system "i-Scope". They will also be required to discuss with your Local Council any specific codes or conditions which may apply to your lot.

Your builder or architect will submit your design to Stockland via the i-Scope website, www.stockland-iscope.com.au. Stockland will issue a 'Design Approval' where the plans appropriately comply with the Design Essentials. Where not suitably complying, Stockland will identify the items requiring further consideration. Where amendments are necessary, revised plans are to be submitted to Stockland for approval before you can build.

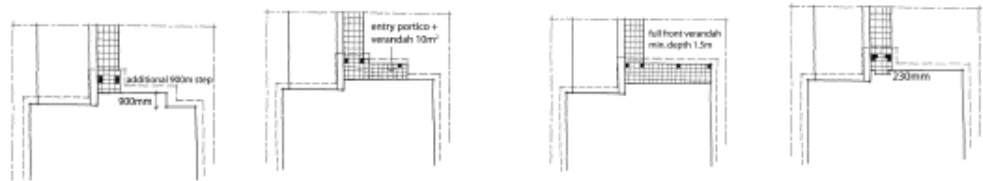
Step 2 – Local Building Approval

Upon receipt of your approval from Stockland, an application can be made to the relevant authority to receive approval for building.

THE DESIGN ESSENTIALS

<p>Glazing to the street</p>	<ul style="list-style-type: none"> • A minimum of 10% of the façade area (including garage or carport) facing a street or public area is to be glazed. This includes facades to lakes, parks, drainage reserves and secondary street frontages on corner lots. • All entrance foyers must include either sidelight or highlight windows in the entry alcove. The only exceptions are <ul style="list-style-type: none"> ○ On cottage lots, where the entry door incorporates a minimum of 20% of the door area as glazing; ○ On all other lots where one large door with integrated glazing is used (the door is to be a minimum of 1.2m wide and contain no less than 20% of the door area as glazing); ○ On all other lots where a set of double doors is provided.
<p>Front Façade Articulation</p>	<ul style="list-style-type: none"> • All lots are required to present appropriate rooms and windows to the street, as listed below: <ul style="list-style-type: none"> ○ All lot types are to address the street by having a minimum of one habitable room and window facing the street. ○ Where a single garage is provided on a Cottage or Premium Villa lot, a minimum of two habitable rooms and windows is to be provided. ○ For Traditional lots, dwellings are required to satisfy one of the following: <ul style="list-style-type: none"> ▪ Two habitable rooms and windows facing the street; or ▪ One or more habitable rooms which comprise a minimum internal width of 5.4m (excluding the width of the entry foyer), to be measured in the same plane as the front alignment of the garage. Significant glazing must be provided to this frontage proportional to the size of the room provided; or <div data-bbox="730 1361 1157 1780" data-label="Diagram"> </div> <ul style="list-style-type: none"> ▪ Where the lot frontage is less than 15m, one habitable room. Significant glazing must be provided to this frontage proportional to the size of the room provided. <ul style="list-style-type: none"> • Front facades for all dwellings must incorporate at least a porch with a minimum area of 4m² and a minimum depth of 1.5m.

- For Traditional lots, unless the façade contains a step of a minimum depth of 900mm (excluding the step at the garage), one of the following additional elements will be required:
 - A portico and verandah with a minimum depth of 1.5m and a total minimum area of 10m²; or
 - A full front verandah with a minimum depth of 1.5m for the length of the frontage of the dwelling (not including the garage); or
 - A portico with columns that have a minimum width of 350mm and recess the entry doorway a minimum of 230mm.



Secondary Feature Façade Articulation

- For lots fronting and having a common boundary with a park, lake or drainage reserve, the façade facing these features must mimic the design features and detail of the main façade of the dwelling (i.e. through replicating the design, scale and dimension of roof style, stepping, setbacks, windows and verandahs.)

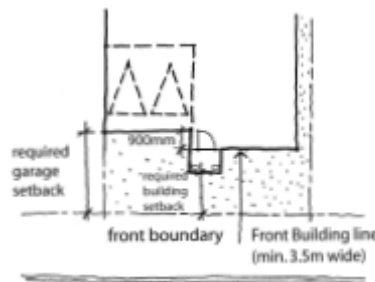
Garages and Carports

- The garage/carport requirements for each lot type are summarised in the table below:

	Cottage	Patio	Villa		Premium Villa		Courtyard & Premium Courtyard	Traditional
			1 Storey	2 Storey	1 Storey	2 Storey		
Single Garage	✓	✗	✓	✓	✓	✗	✗	✗
Double Garage	✓*	✓	✗	✓	✓	✓	✓	✓

* Note: A cottage may provide a double garage only where the lot is 12.5m wide or greater.

- All garages and carports must:
 - Be set back a minimum of 900mm from the front building line, or where a two storey section extends over not less than 50% of the garage, the garage may be inline with the second floor;



	<ul style="list-style-type: none"> ○ Occupy no more than 55% of the length of the frontage for single-storey homes; ○ Incorporate tilt up, panel lift or single roller doors. Double roller doors will be considered on their architectural merit where they complement the design of the dwelling. ● Triple garages are only permitted on lots with a minimum 20m frontage and must be: <ul style="list-style-type: none"> ○ On two-storey home designs; ○ Have one garage door fully integrated within the front façade where a two-storey section extends over no less than 100% of this garage. The garage may be inline with the second floor; ○ Have all other garage doors set back a minimum 900mm from the alignment of the garage integrated within the front façade.
<p>External Wall Finishes</p>	<ul style="list-style-type: none"> ● The major wall materials are to be one or a combination of the following: <ul style="list-style-type: none"> ○ Rendered painted masonry or bagged and painted masonry; ○ Fibre cement with rendered and painted texture finish; ○ Facebrick; ○ Painted or stained weatherboard; ○ Stone or prefinished materials provided they have a natural appearance. ● Where a wall extends to the underside of eaves in a gabled roof or where the roof design incorporates a gable, it is to be treated as a wall extension rather than a roof gable for the purpose of building material selection. Fibre cement cladding used to this part of the wall or gable is therefore required to be finished with a rendered and painted texture finish.
<p>Roof Pitch Hip or Gable</p>	<ul style="list-style-type: none"> ● A minimum 20 degree roof pitch is required for all lots with a frontage of 18m or wider, and 25 degrees for all other lots. ● Innovative roof designs incorporating curved or flat elements for minor portions of the roofline will be assessed on their individual architectural merits. ● Parapet walls are not permitted along a wall built to a zero lot line boundary.
<p>Roof Pitch Skillion</p>	<ul style="list-style-type: none"> ● A skillion roof is permitted on a two-storey dwelling provided the roof design includes the following elements: <ul style="list-style-type: none"> ○ The roof pitch is a minimum of 15 degrees; ○ A minimum of two roof planes (i.e. one continuous roof plane across the entire width of the dwelling is not permitted. A separate portico or verandah roof will be considered a separate roof plane); ○ Overhangs/eaves not less than 600mm (excluding gutters), except along a zero lot line boundary wall; ○ Articulation and variation of materials used for the external walls.

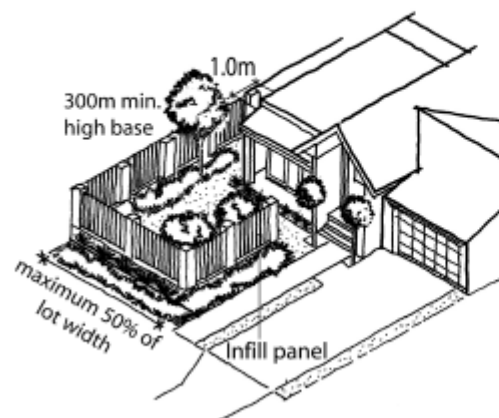
	<ul style="list-style-type: none"> • A skillion roof may be permitted on a single-storey dwelling (subject to a Building Relaxation Approval from Council in consultation with Stockland) where the roof design satisfies the above requirements and it can be demonstrated that the skillion roof has a similar ridge height to that which would be achieved with a pitch roof at the specified pitch for that lot type.
<p>Roof Finishes</p>	<ul style="list-style-type: none"> • Roof materials are limited to the following: <ul style="list-style-type: none"> ○ Corrugated prefinished and coloured metal sheets (e.g. colorbond); or ○ Clay, concrete or slate tiles. • Gutters and downpipes are to be pre-finished or painted to match the dwelling, or to provide appropriate colour accents.
<p>Non-Ground Mounted Plant or Equipment</p>	<ul style="list-style-type: none"> • Roof mounted items visible from the street or public spaces must be minimal including but not limited to: satellite dishes, TV aerials, external hot water services, water tanks, air conditioning units, heating units, spa and pool pumps, dependent person units etc. • Solar panels and collectors for hot water units are the exception to this standard when orientated to maximise their effectiveness.
<p>Driveways</p>	<ul style="list-style-type: none"> • All crossovers and driveways are to be completed prior to occupation. • Driveways to have a minimum 0.5m landscaping to the side property boundary. • Plain concrete driveways are not permitted. • All driveways must extend continuously for their full width and be no wider than 3m for a single garage or carport or no wider than 5m for all other garages or carports. • Where a footpath has been constructed in front of the lot, the driveway must abut and not cut through the footpath. The balance of the driveway between the footpath and the kerb may be plain concrete to match the footpath.
<p>Landscaping</p>	<ul style="list-style-type: none"> • For lots less than 14m wide, the front and external side garden (for corner lots) must include the following as a minimum at the time of planting: <ul style="list-style-type: none"> ○ 1 plant at a minimum of 2m in height; ○ 5 plants, each at a minimum of 1m in height; • For lots 14m or wider, the front and external side garden (for corner lots) must include the following as a minimum at the time of plating: <ul style="list-style-type: none"> ○ 3 plants, each at a minimum of 2m in height; ○ 5 plants, each at a minimum of 1m in height. • All lots are to include the following: <ul style="list-style-type: none"> ○ Garden beds mulched and edged; ○ Turf to the remainder of the front garden area. • The minimum landscape requirements are to be retained and maintained to an acceptable standard.

Construction Obligations

- Provide a bin or enclosure on site for the duration of the construction period.
- Site cleanliness is to be maintained.

Fencing to Front & Secondary Streets

- A wall or fence required to enclose a front private courtyard must:
- Must extend a minimum of 1m behind the front wall of the dwelling;
 - Be a maximum of 1.8m in height;
 - Be constructed of face brickwork or rendered and painted masonry piers (with a minimum 300mm base), and include infill panels of complementary masonry, coloured metal tube; painted or treated timber battens;
 - Not exceed 50% of the lot width.



1. Pool fencing infill panels



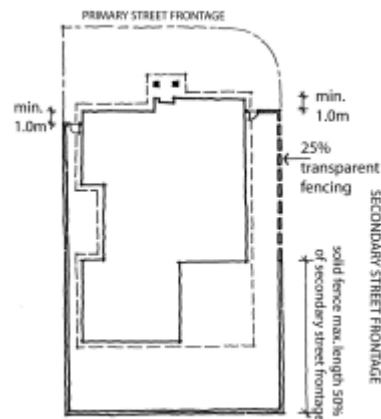
2. Masonry fencing infill panels



3. Timber slat infill panels

Fencing on the secondary street frontage must:

- Be a maximum of 1.8m in height.
- Not extend for greater than 50% of the length of the secondary street boundary if solid fencing (i.e. less than 25% transparent);
- Be constructed of:
 - Painted or treated timber palings with capping and feature posts; or
 - Open style coloured metal tube fencing complemented by hardwood timber posts (minimum 125mm x 125mm size posts); or
 - As per the requirements for a front private courtyard (constructed either with or without a base).
- Where no front fence is used, the secondary street fence must return to the house a minimum of 1m behind the front wall of the dwelling.



<p>Fencing to Side & Rear Boundaries</p>	<ul style="list-style-type: none"> • Is to be a maximum of 1.8m in height; • Constructed of treated timber palings; • Return to the house a minimum of 1m behind the front wall of the dwelling. • Where the side boundary forms the rear boundary of an adjoining lot, the side fence may continue to the front of the lot. • Side boundary fencing is not permitted where a wall is constructed along a zero lot boundary, except where an open carport is provided along the zero lot boundary. <p>For lots having a common boundary with a park, fencing along the common boundaries is to be :</p> <ul style="list-style-type: none"> • A maximum of 1.2m in height; • Constructed of face brickwork or rendered and painted masonry piers (either with or without masonry base) and/or hardwood posts; • Infills of coloured metal tube; and • Any side fence must match the style, height and finish of the fence fronting the park extending no less than 1.0 metre behind the adjacent wall of the dwelling. <p>Please discuss your proposed fencing with the adjoining owner prior to construction and refer to the relevant 'The Dividing Fences' legislation and guidelines in your State and Local Government Area.</p>
<p>Developer Works</p>	<ul style="list-style-type: none"> • Where the developer has constructed a fence, entry statement or retaining wall, it is to be maintained by the owner to the standard to which it was constructed.
<p>Retaining Walls</p>	<p>Retaining walls visible from the street or public space:</p> <ul style="list-style-type: none"> • Are limited to 1m in height before use of a 0.5m wide landscape terrace. • Must be constructed from stone or masonry to match the dwelling. • Timber retaining walls may be constructed along side boundaries (excluding secondary street frontages) and rear boundaries. Timber retaining walls along side boundaries may protrude forward of the front building line provided the wall tapers to meet the finished ground line at the front of the property. <p>Please discuss any proposed retaining walls with your adjoining neighbour prior to construction to ensure that the height of the retaining is appropriate to suit the finished ground levels on adjacent blocks.</p>

<p>Outbuildings</p>	<ul style="list-style-type: none"> • Unfinished metal shed of any size are not permitted. All outbuilding and garden sheds must be constructed behind the front or secondary street building line unless it can be shown that they are not visible from the adjacent street or public area. • Sheds greater than 9m² are considered as an extension of the main dwelling and must therefore satisfy the building setbacks and external material finish requirements as per the main dwelling.
<p>Ground Mounted Plant or Equipment</p>	<p>All ground mounted services are to be screened where visible from any street or public space. This includes but is not limited to:</p> <ul style="list-style-type: none"> • heating and cooling units, rubbish disposal containers, swimming pools & equipment, rain water tanks, clothes hoists and washing lines.
<p>Signs</p>	<ul style="list-style-type: none"> • Signs and hoarding for advertising products and businesses are not permitted on residential lots with the exception of businesses being undertaken from home within the definition of a detached house, approved home occupations or display home signage, which may only be erected with the prior approval of Stockland. Builders/tradespersons' signs are permitted where they are required on lots but only during construction.

GLOSSARY OF TERMS

<p>Front Building Line</p> <p>Façade Area</p> <p>Glazing</p> <p>Eave Line</p> <p>Setback</p>	<ul style="list-style-type: none"> • The line of the house where a minimum enclosed width of 3.5m is provided. • Façade Area is calculated as a square meter measure of the entire vertical surface of the elevation of the house visible from the Street or Public Area. • Any fixed or opening panel made from glass. • The edge of the roof or parapet. • The distance measured from adjacent boundary of the lot to the wall or outermost projection of the home as per Council's requirements.
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APPENDIX A – BUILDING SETBACKS

The following information is provided as a guide to assist with locating a home on the lot and has been extracted from the Moreton Bay Regional Council's Structure Plan for Freshwater. This provides a summary of the key residential design and siting requirements in relation to the range of lot types proposed within this area.

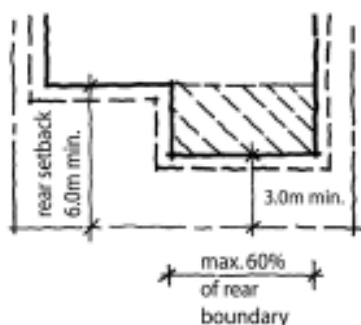
Building setbacks for all lots must comply with the setback requirements outlined in the following table (unless dimensioned otherwise on the Plan of development). Where a setback is specifically dimensioned and referenced on the Plan of Development, the Plan of Development will prevail.

Lot Type	Min. Building Setbacks – First Storey				Min. Building Setbacks – Second Storey				Private Open Space (POS) ^G		Max. Site Cover (%) ^E
	Front ^A (m)	Rear (m)	Side ^C (m)	Secondary Street ^D (m)	Front (m)	Rear (m)	Side (m)	Side (ZLL) (m)	Min. Area (m ²)	Min. Diameter (m)	
Villa	3	3	1	1.5	3	3	1.5	1	25	5	50
Cottage	3	3	1	1.5	3	3	1.5	1	25	5	50
Patio	3	3	1	1.5	3	3	1.5	1	25	5	50
Premium Villa	3	6 ^B	1	1.5	3	6 ^B	1.5	1	40	5	50
Courtyard	3	6 ^B	1.5	1.5	3	6 ^B	2	1.5	40	5	50
Premium Courtyard	3	6 ^B	1.5	1.5	3	6 ^B	2	1.5	40	5	50
Traditional	4.5 ^F	6 ^B	1.5	3.0	4.5	6 ^B	2	1.5	-	-	50

Notes Relating To Setbacks:

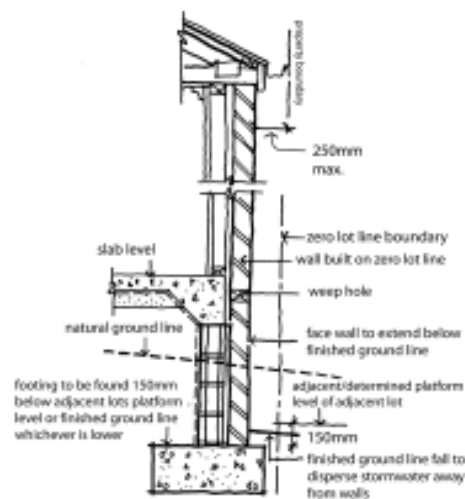
A - Subject to additional garage setbacks where relevant. Where a single garage is provided, it is to be set back a minimum of 5.5m from the front boundary to facilitate off-street parking.

B - Where a 6m setback is required, a portion of the dwelling may extend to an absolute minimum rear setback of 3m where the portion of the dwelling (including patios, verandahs and pergolas) located between the 6m and 3m rear setback zone is not permitted to exceed 60% of the lot width measured across the rear boundary.



C(i) - Eaves excluding gutters are permitted to extend up to 600mm within setback areas (other than where buildings are built to a zero lot line boundary), provided that a minimum side boundary clearance from eaves and gutters of 400mm is provided.

(ii) - Where lots have a mandatory zero lot line nominated on the Plan of Development, the dwelling must be built to this boundary. Where a wall is built to a zero lot line boundary, it is to be constructed with materials and finishes consistent with the balance of the dwelling, extending 150mm below the anticipated level of the adjacent lot's platform in accordance with Council's requirements. A zero lot tolerance of up to 250mm is permitted to accommodate a gutter overhang. Where a non-mandatory zero lot line nominated on the Plan of Development is not used, or for the balance of any dwelling not built to this boundary, it must comply with the relevant side setback requirements for that lot type. Notwithstanding the above, a side garage wall (max 9m in length with no openings) may be built a minimum of 1m from an unutilised zero lot line boundary on a Courtyard lot only.



D - The design of the development has taken into consideration the visibility at intersections and the amenity of the proposed neighbourhood. Consequently, for the purposes of Part 3 of the Standard Building Regulations (i.e. corner truncation setbacks), further application for corner truncation setbacks is not required, provided that the setback specifically dimensioned and referenced on the Plan of Development is complied with.

E - Site coverage is defined as that portion of a site covered by a building (including garages), fixed structure, or outdoor storage area, but not including unroofed parking areas and roof eaves. Pergolas, gazebos, verandahs, shade structures and other leisure and recreational purpose areas (whether fully roofed or not) are included in site coverage; however the above semi-enclose outdoor structures are permitted to a further maximum building site coverage of 10% of the total lot area.

F - For Traditional lots, unenclosed spaces such as verandahs, terraces balconies and pergolas may project into the front setback by a maximum distance of 1.5m provided the outermost projection is no closer than 3m from the front boundary.

G - The preferred location of private open space is shown on the Plan of Development. Major private open space is to have a maximum gradient of 1 in 10 and is to be designed to ensure useability.

For additional information or to obtain a copy of the Structure Plan for Freshwater, please refer to the Moreton Bay Regional Council website (www.moretonbay.qld.gov.au.)
