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Stockland Residential Communities

1<sup>st</sup> January 2011

# WELCOME TO THE DESIGN ESSENTIALS

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The Design Essentials form part of your Contract of Sale and assist when designing your home and landscape. They are designed to create an attractive streetscape that results in a cohesive urban form, while not precluding individual design solutions.

Stockland encourages a variety of architectural styles and materials in the design of your home. Stockland reserves the right to approve works which do not comply with the Design Essentials where considered to be of merit and to vary the requirements of the Design Essentials at its discretion.

The Design Essentials apply in addition to, and not in lieu of other statutory requirements. Approval from your Local Government Authority or a registered Building Certifier will be required in addition to any approval given by Stockland.

## THE APPROVAL PROCESS

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### Step 1 – Stockland Design Essentials Approval

Before undertaking any building work, you must first obtain Covenant Approval in writing from Stockland. In addition to these 'Design Essentials', your builder or architect will need to review the documentation applicable to your property, which is available in the Reference Library of Stockland's online design application system "i-Scope". They will also be required to discuss with your Local Council any specific codes or conditions which may apply to your lot.

Your builder or architect will submit your design to Stockland via the i-Scope website, [www.stockland-iscope.com.au](http://www.stockland-iscope.com.au). A Design Review Board (DRB) has been created to review house designs promptly and will consider applications in a clear and efficient manner.

The DRB will assess and advise if your design appropriately complies with the Design Essentials. The DRB will also assess and advise if your design meets the requirements of Council's Residential Design Guidelines (included at the rear of the Design Essentials). If a design varies from the criteria outlined in either the Design Essentials or the Council's Residential Design Guidelines, the DRB will provide a list of items that require further consideration. Where amendments are necessary, revised plans are to be submitted to the DRB.

The DRB will issue a "Design Approval" for :

- Those lots classified as 'Contemporary Residential' Lots, where the plans appropriately comply with Design Essentials **and** Council's Residential Design Guidelines; or
- those lots classified as 'Premium Residential' or 'Conservation Residential' Lots, where the plans appropriately comply **with** the Design Essentials and Council's Residential Design Guidelines. The DRB will then submit your plans and documentation to Council for Code Assessment. (Refer to **Figure 1** for Doonella Noosa Lot Classification)

## **Step 2 – Council Code Assessment Application (if required)**

Development of a detached dwelling on 'Conservation Residential' and 'Premium Residential' lots will be subject to Code Assessment, which will require an application to the Sunshine Coast Regional Council.

The code assessment path is stipulated under the *Integrated Planning Act 1997*, and allows Council to ensure compliance with any original approvals and impose conditions accordingly.

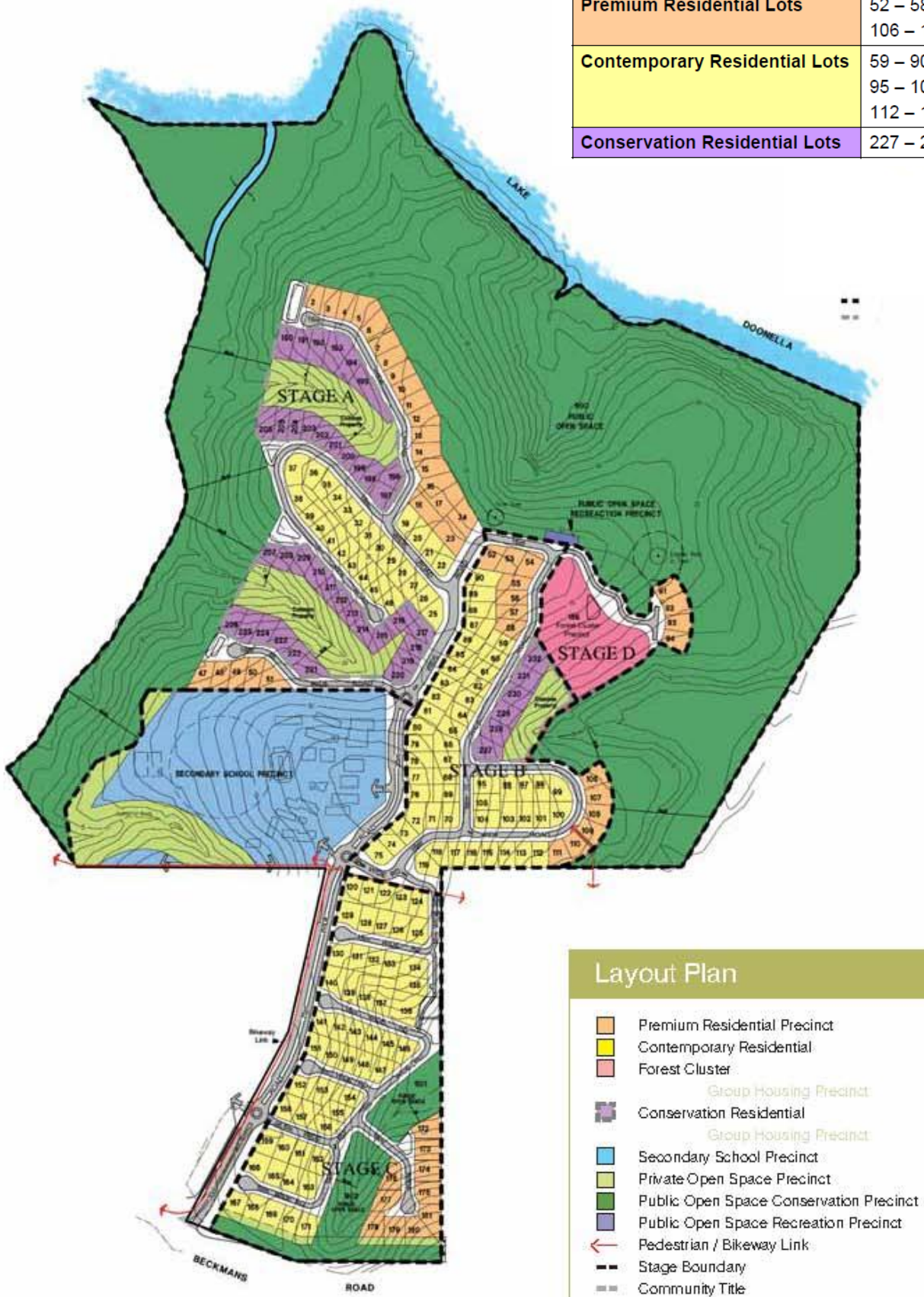
The DRB will undertake the assessment and manage the application process on your behalf. Upon completion of the application process, the DRB will provide you with a 'Design Approval' and any Council conditions.

## **Step 3 – Local Building Approval**

Upon receipt of your 'Design Approval' from Stockland, an application can be made to the relevant authority to receive approval for building.

**FIGURE 1 – Doonella Noosa Lot Classifications**

Doonella Noosa Lot Classification	
Premium Residential Lots	52 – 58 (inclusive) 106 – 111 (inclusive)
Contemporary Residential Lots	59 – 90 (inclusive) 95 – 105 (inclusive) 112 – 123 (inclusive)
Conservation Residential Lots	227 – 232 (inclusive)



# THE DESIGN ESSENTIALS

<b>Glazing to the street</b>	<ul style="list-style-type: none"> <li>The façade area (excluding the garage door) facing a street or public area is to include sufficient glazing (10% recommended) to allow passive surveillance of the street.</li> </ul>
<b>Front Façade Articulation</b>	<ul style="list-style-type: none"> <li>Walls may be up to 7.5m long before a change in setback and eave line of at least 450mm is required.</li> <li>The primary entry is to incorporate a covered roof area.</li> <li>It is recommended that the entry roof area be at least 4m<sup>2</sup> with a minimum depth of 1.5m.</li> </ul>
<b>Secondary Street Façade Articulation</b>	<ul style="list-style-type: none"> <li>Should secondary street fencing not be provided, walls may be up to 7.5m long before a change in setback and eave line of at least 450mm or feature element is required.</li> </ul>
<b>Garages / Carports</b>	<ul style="list-style-type: none"> <li>Freestanding or attached carports and garages must include a roof design &amp; design features which are consistent with the form and materials of the home.</li> <li>Garage/carport materials (incl. roof) must also be consistent with the materials of the home.</li> </ul>
<b>External Wall Finishes</b>	<ul style="list-style-type: none"> <li>Homes are to be constructed to reflect contemporary Queensland Architecture and have regard to the climatic conditions of the area and the estate's unique location</li> <li>External masonry walls to the front and secondary street facade are to be rendered (feature face brick is acceptable for up to 25% of the façade area)</li> <li>Side and rear masonry walls are to be a minimum of bagged and painted.</li> <li>Unfinished 'commons' bricks are not recommended.</li> <li>It is recommended that a minimum of 2 materials are to be used to the front and secondary street facades with no one material being more than 80% of the façade area.</li> </ul>
<b>Roof Pitch Hip or Gable</b>	<ul style="list-style-type: none"> <li>Roofing must be of a scale and form representative of contemporary Queensland Architecture.</li> <li>30 degrees is the maximum pitch for any hip or gable roof.</li> <li>15 degrees is the maximum pitch for a main skillion roof.</li> </ul>
<b>Non-Ground Mounted Plant or Equipment</b>	<ul style="list-style-type: none"> <li>Roof mounted items visible from the street or public spaces must be minimal including but not limited to: satellite dishes, TV aerials, external hot water services, water tanks, air conditioning units, heating units, photovoltaic cells (i.e. solar panels), spa and pool pumps, dependent person units etc.</li> <li>Solar panels and collectors for hot water units are the exception to this standard when orientated to maximise their effectiveness.</li> </ul>
<b>Driveways</b>	<ul style="list-style-type: none"> <li>All crossovers and driveways are to be completed prior to occupation.</li> <li>Driveways to have a minimum 0.5m landscaping to the side property boundary.</li> <li>Driveways must not be constructed from plain concrete.</li> </ul>
<b>Landscaping</b>	<ul style="list-style-type: none"> <li>Lay turf between the front building line and kerb-line prior to occupation.</li> </ul>
<b>Construction Obligations</b>	<ul style="list-style-type: none"> <li>Provide a bin or enclosure on site for the duration of the construction.</li> <li>Site cleanliness is to be maintained.</li> </ul>

<b>Fencing to Front Street</b>	<p>As viewed from the street or public space:</p> <ul style="list-style-type: none"> <li>• Is to be a maximum of 1.5m in height and may extend to 1.8m in height when 50% transparent above 1.5m in height;</li> <li>• Must not include any coloured pre-finished metal or unfinished materials including unfinished commons bricks;</li> <li>• Must extend 1m behind the front building line when returned to a side or secondary street boundary.</li> </ul>
<b>Fencing to Secondary Streets</b>	<ul style="list-style-type: none"> <li>• Is to be a maximum 1.8m in height;</li> <li>• Must not include any unfinished materials including unfinished commons bricks</li> <li>• Where no front fence is used, the secondary street fence must return to the house a minimum of 1.0m behind the front wall of the home.</li> </ul>
<b>Fencing to Side and Rear Boundaries</b>	<ul style="list-style-type: none"> <li>• Is to be a maximum of 1.8m in height;</li> <li>• Must not include any coloured pre-finished metal or unfinished materials including unfinished commons bricks;</li> <li>• Where no front fence is used, the side fence must return to the house a minimum of 1m behind the front façade.</li> <li>• Where the side boundary forms the rear boundary of an adjoining lot, the side fence may continue to the front of the lot.</li> <li>• It is recommended that you discuss your proposed fencing with the adjoining owner/s prior to construction and refer to the relevant 'The Dividing Fences' legislation and guidelines in your State and Local Government Area.</li> </ul>
<b>Developer Works</b>	<ul style="list-style-type: none"> <li>• Where the developer has constructed a fence, entry statement or retaining wall, it is to be maintained by the owner to the standard to which it was constructed.</li> </ul>
<b>Retaining Walls</b>	<ul style="list-style-type: none"> <li>• Retaining walls visible from the street or public space are to be constructed from: stone or masonry; or timber sleepers (where less than 300mm in height).</li> </ul> <p>Please discuss proposed retaining walls with your adjoining neighbour prior to construction to ensure that the height of the retaining wall is appropriate to suite the finished ground levels on adjacent blocks.</p>
<b>Outbuildings</b>	<ul style="list-style-type: none"> <li>• Any outbuilding or garden shed must not be attached to the home.</li> <li>• All outbuilding and garden sheds must be constructed behind the front or secondary street building line unless it can be shown that they are not visible (or can be adequately screened) from the adjacent street or public area.</li> </ul>
<b>Ground Mounted Plant or Equipment</b>	<p>All ground mounted services are to be screened where visible from any street or public space. This includes but is not limited to:</p> <ul style="list-style-type: none"> <li>• Heating and Cooling units, rubbish disposal containers, swimming pools &amp; equipment, rain water tanks, clothes hoists and washing lines.</li> </ul>
<b>Presentation and Maintenance of Your Lot</b>	<p>You must not permit; cause or authorise any damage to:</p> <ul style="list-style-type: none"> <li>• any adjoining lot and/or</li> <li>• any other part of the Doonella Noosa Community including but not limited to footpaths, kerb and channel, roadways and/or landscaping.</li> </ul> <p>Where such damage occurs and Stockland is required to undertake repairs, the owner of the lot will be responsible to pay the cost of these works.</p> <p>Your property must be kept in a clean and tidy state at all times and you must take the necessary steps to ensure the required silt fences and rubble driveways are in place and must be maintained during the total construction of your home.</p>

Where rubbish, soil and grass cuttings are washed or blown from your lot and Stockland determines it is necessary to remove this rubbish, you will be responsible to pay for the cost of the removal.

The owner of the lot or your builder must maintain an industrial waste bin on site at all times. The industrial waste bin is to be delivered on site as soon as construction has commenced. This waste bin must be regularly emptied and must be covered when full so no material escapes the waste bin. The site must be cleared of any rubbish or building material on a daily basis with this rubbish and building material placed into the waste bin each afternoon when building activity has finished for the day.

## GLOSSARY OF TERMS

<b>'Commons' Brick</b>	<ul style="list-style-type: none"><li>• Brick made for general building purposes and not specially treated for colour and texture. These bricks are often larger in height to a Face brick.</li></ul>
<b>Front Building Line</b>	<ul style="list-style-type: none"><li>• The line of the front wall of the house. This wall is the solid wall on the front façade of the home.</li></ul>
<b>Façade Area</b>	<ul style="list-style-type: none"><li>• Façade Area is calculated as a square meter measure of the entire vertical surface of the elevation of the house visible from the Street or Public Area.</li></ul>
<b>Glazing</b>	<ul style="list-style-type: none"><li>• Any fixed or opening panel made from glass.</li></ul>
<b>Eave Line</b>	<ul style="list-style-type: none"><li>• The edge of the roof or parapet.</li></ul>
<b>Setback</b>	<ul style="list-style-type: none"><li>• The distance measured from the boundary of your lot to the outermost projection of the home as per Council's requirements</li></ul>
<b>Feature Element</b>	<ul style="list-style-type: none"><li>• May include attached materials or free standing structure that is complementary to the form and materials of the house including but not limited to: window hoods / external shades, decorative surface treatments, screens and battening.</li></ul>
<b>Building and Other Legislation Amendment Act 2009 (Act)</b>	<ul style="list-style-type: none"><li>• These Design Essentials are to be read and applied subject to the requirements of the Building and Other Legislation Amendment Act 2009 (Act). If any term, requirement or condition in these Design Essentials (or any part of them) is invalid or unenforceable for any reason (including as a result of the application of the Act) the remaining terms, requirements and conditions will continue to apply and will be valid and enforceable to the fullest extent permitted by law.</li></ul>

# Attachment

## Sunshine Coast Regional Council RESIDENTIAL DESIGN GUIDELINES

For  
Stockland  
Doonella Noosa