



BAYSWOOD
Vincentia, Jervis Bay



Stockland

Design Essentials

Design Excellence at Bayswood

Bayswood is a residential development by Stockland of approximately 600 dwellings at Vincentia in Jervis Bay. Stockland recognise that living on the south coast is a unique experience that differs from living in cities and major regional centres. The Bayswood master plan aims to reflect the local coastal village character and help create a contemporary lifestyle for this community; a community that is well connected to leisure and retail services, the bush and the beach.

To ensure a great design for your home and a smooth review and certification process, please discuss this document with your designer / builder. This document is not just a guide for dwelling certification, but is designed to help you take advantage of some simple design principles that will ensure your lifestyle at Bayswood is comfortable, sustainable and compliments the natural surroundings.

Your Home Design at Bayswood

The Bayswood Design Essentials have been compiled to assist you to arrive at your home design to reflect the theme of design excellence at Bayswood. These guidelines have been put in place to protect the integrity of your investment and provide you with peace of mind about the high standards of house design within your neighbourhood, whilst still allowing flexibility and individuality to create your own home.



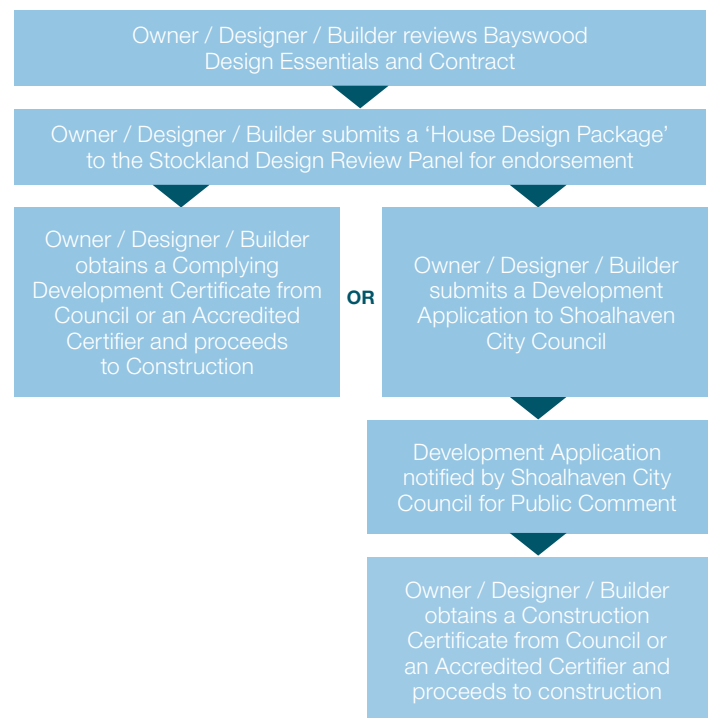
FURTHER INFORMATION

- Handy fact sheets about building a new home are available online at www.yourhome.gov.au which is a joint initiative of the Australian Government and the design and construction industries.
- For information about planning and development, you can find important information at council's office or their webstie at www.shoalhaven.nsw.gov.au

Approval Process

Bayswood has undergone a thorough statutory planning process under many different forms of legislation. The master plan design for Bayswood has been holistic in approach and aims to protect the environment and enhance the amenity of the residential community in a manner that minimises ecological impacts. Consultation with the community has been extensive and scrutiny by all levels of government, Federal, State and Local has ensured that this development meets the highest standards.

As part of the master planning process, built form controls for dwelling design were approved as development standards. Where these standards are met, a single dwelling on a single lot can be certified as complying development. These controls and design essentials outline the standards required for dwelling houses and provide important design considerations for your home.



House Design Package

Your builder / designer needs to review this document so that a 'house design package' can be prepared for endorsement by Stockland. Design endorsement by Stockland is necessary before you obtain certification from an Accredited Certifier/ Council. A 'house design package' must include the following for Stockland to complete a fair and timely assessment and successful endorsement:

- Site Plan [1:200] with overall dimensions for all structures; total site and floor area; all easements and services; dimensioned front, rear & side setbacks; articulation zone and main building line; private open space area; vehicle access; contours & levels including any retaining walls; solar access and floor space calculations.
- Floor Plans [1:100] showing key dimensions; articulation zone and main building line; door & window positions.
- Sections [1:100] dimensioned building heights (ground to uppermost ceiling); internal floor to ceiling heights; roof pitch; eaves depth.
- Elevations [1:100] indicating all external materials, finishes & colours including but not limited to, walls, roofs, fascias, downpipes, windows, doors, garage doors, columns and handrails.
- Landscape Plan [1:100] showing trees to be retained or removed; boundary treatments and locations; private open space area; rainwater tank location & size; description of planting including species, pot size, spacing and location; materials, colours and finishes of hard surfaces such as driveways or paving, fencing and letterbox.
- BASIX Certification.

NOTE: It should be noted that meeting the controls described in this Design Essentials document and securing a design endorsement from Stockland does not constitute an approval or certification from an Accredited Certification Authority or from Shoalhaven City Council. In the event that Stockland allows a variation from these Design Essentials, the variation will neither set a precedent nor imply that the approval will be repeated by Stockland or supported by an Accredited Certification Authority or Shoalhaven City Council.

Your House Design Package or any queries should be directed to:

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Stockland

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Design Guidelines Checklist

1.0 SITE PLANNING

The following controls for setbacks and site planning aim to recreate the casual streetscape character of many great local examples of residential building in a coastal bushland setting. The streets at Bayswood are wide and generously completed with planting and retained vegetation. This means that front setbacks can be shallow, giving you more space on the block for indoor and outdoor living. Garages are setback behind the building line and your entry and facade features project forward to give your home a great address in your street.

1.1 SETBACKS

Building setbacks are as noted below unless otherwise specified in the Section 88B instrument relating to the particular allotment.

- The primary building line setback is to be a minimum of 5m.
- For corner allotments, the secondary building line setback is to be a minimum of 3m.
- For single storey dwellings not on corner allotments, side setbacks are to be a minimum of 0.9m to both sides except where an easement for zero setback has been identified.
- For two storey dwellings not on corner allotments, side setbacks are to be a minimum of 0.9m to one side and 1.5m to the other. Where an easement for zero setback has been identified, the alternate side setback must be a minimum of 1.5m.
- Rear setbacks are to be a minimum of 5m except for garages for an allotment with rear or side street vehicular access, where in that instance the rear setback for garages is to be a minimum of 0.9m.

1.2 ZERO LOT LINE

- A dwelling constructed on a zero setback boundary must not exceed 12m length of boundary wall.

1.3 SOLAR ACCESS

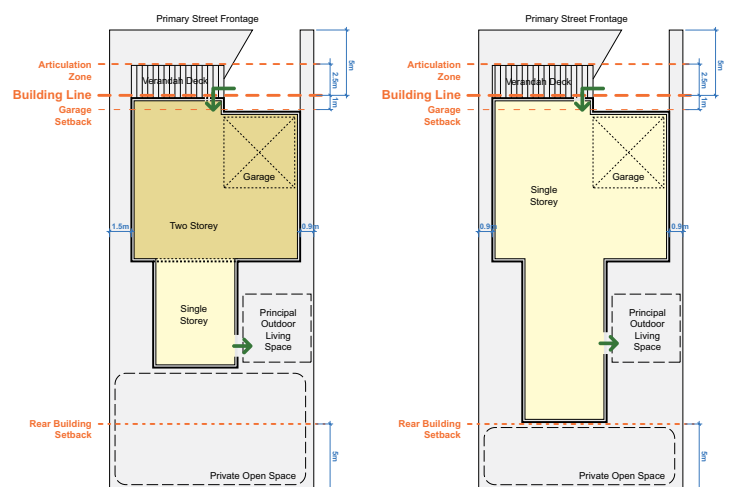
- For at least 3 hrs between 09:00 – 15:00 hrs on June 21, at least 50% of the properties' minimum required Principal Outdoor Living Space is not to be in shadow. This standard does not apply to allotments that have a rear yard with a south-east to south-west orientation. In such cases, the porch, verandah, deck, pergola or balcony that is required to project forward of the primary building line may be used to meet the solar access objective provided that the porch, verandah, deck, pergola or balcony projects 2.4m forward of the primary building line.
- For at least 3 hrs between 09:00 – 15:00 hrs on June 21, at least 50% of the neighbouring properties' Principal Outdoor Living Space is not to be in shadow. Where this standard cannot be met because it is currently exceeded, no additional overshadowing is to occur.

2.0 ARTICULATION ZONE

With green streets, open parks, bushland views and a friendly community, a verandah, porch or pergola and deck make great sense. These lightweight threshold spaces are an Australian icon and characteristic of coastal bushland living on the South Coast. The deep shade provides a cool and welcoming front door address to your home.

There are many contemporary design options for these 'facade articulation' elements to suit all homes, some of which are represented as follows:

- The dwelling house must incorporate a lightweight porch, verandah, deck, pergola or balcony that projects forward of the primary building line that has a:
 - minimum depth of 1.8m measured from the primary building line, and
 - minimum width equal to 1/3rd of the width of the dwelling house.
- Any porch, verandah, deck, pergola or balcony that is built forward of a building line must not be constructed within:
 - 2.5m of a primary (front) street lot boundary;
 - 2m of a secondary (side) street lot boundary.
- Lightweight timber or steel construction is encouraged. Masonry construction will be considered as a blade wall element or as a column with a maximum 2/3 height of verandah to highlight the main entry of the home.
- The roofing option over verandah can be one of the following:
 - pergola, post and battens to provide shade
 - separate hipped roof attached to gable end of main roof
 - separate lean-to roof married into main roof or attached to front wall
 - main roof extension as a gable end with raked soffit
 - main roof extension as a hipped roof in line with or higher than main roof eaves



TYPICAL LOT, TWO STOREY BUILDING ENVELOPE PLAN

TYPICAL LOT, SINGLE STOREY BUILDING ENVELOPE PLAN

3.0 ARCHITECTURAL FORM

Fundamental to the casual contemporary Bayswood style is the ability for the homes to sit within a bushland setting, rather than dominate the landscape. For this reason there are some simple controls to ensure that your home has ample living space without affecting the amenity of your neighbour. Well designed homes have simple but sophisticated roof forms. Ground floor living spaces should relate directly to the levels of the garden, to maximise your enjoyment of the space.

3.1 ARCHITECTURAL STYLE

- The architectural style of the dwelling shall be in keeping with the [Bayswood] contemporary coastal bushland character. Period or reproduction or faux styles or detailing will not be approved.
- For corner lots, the side street elevation should be detailed with similar character and attention to composition as the primary facade. A strong corner treatment can be achieved by wrap-around corner verandahs [horizontal emphasis] or vertical elements such as gables [vertical emphasis].

3.2 BUILDING & ROOM HEIGHTS

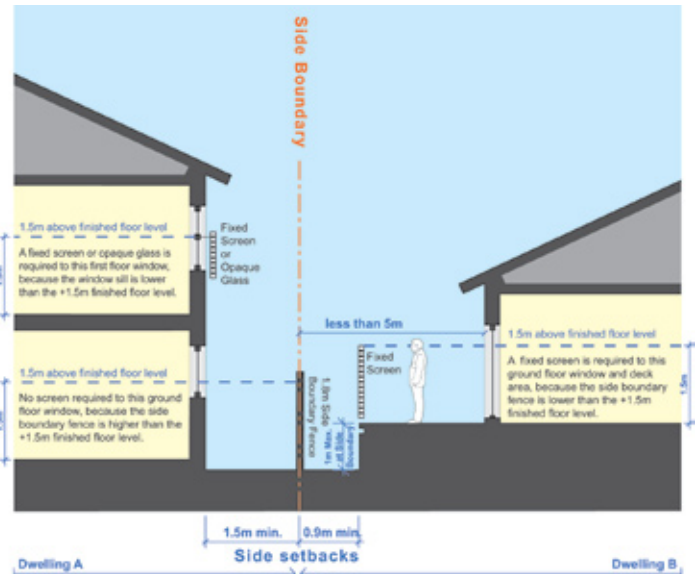
- The dwelling structure shall be a maximum of two storeys and not exceed a building height of 9m as measured between any point above the existing ground level of the site and the highest point of the building.
- For allotments with a street frontage width of 15m or less, the floor to ceiling height is to be a minimum of 2.4m for all floors.
- For allotments with a street frontage width of greater than 15m the floor to ceiling height is to be a minimum of 2.7m to ground floor habitable rooms (such as living rooms and bedrooms) and a minimum of 2.4m for all non-habitable rooms and all upper floors.
- For attic rooms, the wall height at the edge of the room is to be a minimum of 1.5m with a 30 degree minimum ceiling slope.

3.3 ROOF FORM AND PITCH

- The roof form is to be hipped, gable, mono or skillion pitched between 10 and 35 degrees. A flat roof (less than 10 degrees pitch) is permissible only when it is concealed behind a parapet and where the flat portion of the roof is no greater than 8sqm.
- Eaves are to be 450mm deep and may extend beyond the front, rear and side setbacks. This control does not apply to:
 - zero lot boundaries where indicated on the Section 88B; or,
 - where a verandah or porch which is not part of the main roof structure is located 300mm or less below the eave of main roof and the eave has a minimum depth of 75mm.

3.4 PRIVACY

- Windows and doors within 5m of a side or rear boundary shall not overlook a neighbouring property. No window or door that overlooks adjoining private outdoor areas or windows to habitable rooms of adjoining dwellings shall have clear glazing below 1.5m above finished floor level.



3.5 GARAGE & ACCESS

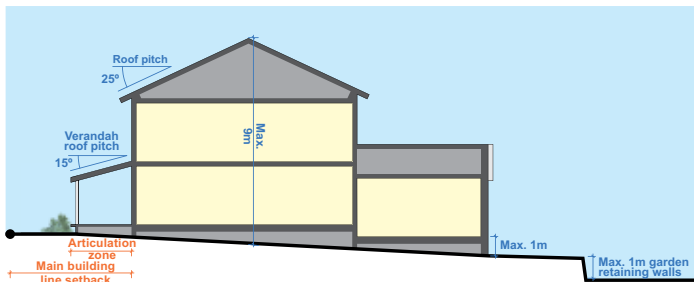
- Garages must be set back a minimum of 1m behind the building line of the dwelling.
- Garages facing a public street or right of carriageway are not to be more than 6m wide or 50% of the frontage width whichever is the lesser.
- A minimum of two on-site car spaces are to be provided per allotment, one of which is to be garaged. The second space may be tandem to the first. Car parking spaces are to measure a minimum 2.6m x 5.5m where outdoors and 3m x 6m where garaged.
- Vehicle crossovers to footpaths are to be 3m for single garages and 3.5m for double garages. The crossover shall be constructed perpendicular to the carriageway kerb.
- For corner allotments, vehicle crossovers shall be offset from the corner boundary by a minimum of 6m.

3.6 CUT & FILL

- The maximum depth of cut and fill for dwellings beyond ground level (existing) of the site after the subdivision works are completed shall be 1m.
- Retaining walls forward of the primary or secondary building line must not be greater than 1m in height above ground level (existing) and be constructed of materials consistent

and complementary to the dwelling house on that allotment. E.g. rendered masonry retaining walls to match a dwelling with a rendered masonry facade. (community palette colour selections).

- Where retaining walls over 1m are required, they shall be tiered in sections of no more than 1m height, with 1m separation between tiers for planting.
- Cut and fill external to a building envelope shall be retained by walls or be battered at a grade less than 1:2 (vertical: horizontal).



4.0 MATERIALS, COLOURS & FINISHES

The colours and finishes selected in the palettes (opposite) are pre-endorsed selections, however you can choose any other selection that is within the same tonal range (sample to be supplied) of that palette as part of your 'house design package' to be considered for endorsement by Stockland.

The principles of colour and finish palettes have been selected to provide a cohesive streetscape whilst allowing for a diverse individual expression in the architectural detail.

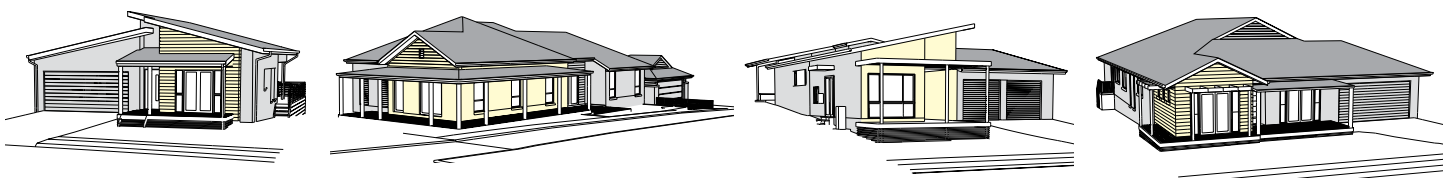
The roof palette has been selected to provide a consistent community character that sits well in the landscape when viewed from far afield.

The Accent Palette has been selected to provide for personal identity and detailed style in strong bushland shades or bright and light coastal colours.

- For all homes, the dominant projecting element of the home shall be in a colour finish selected from the Accent Palette or similar approved.
- For all homes, the remaining main body of the home shall be in at least one other colour finish selected from the Community Palette or similar approved.
- Colours shown in the Accent and Community Palettes are indicative of a range and tone that can be used for lightweight

materials, rendered masonry, applied finish masonry or face brick. Other selections that are within the same tonal range will be considered for approval.

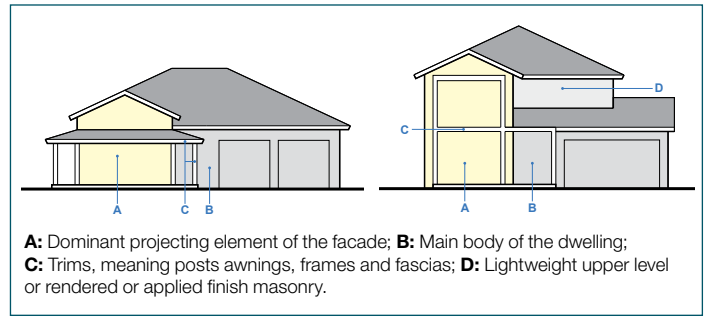
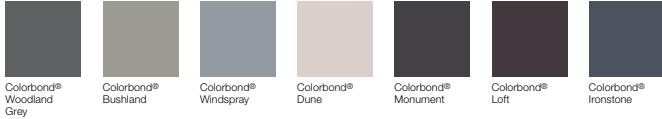
- A mix of materials and colours is mandatory in all street facing facades. Where face brick has been selected from the Accent Palette, face brick cannot be selected from the Community Palette or vice versa.
- For two storey homes, no face brick is permissible above the first floor window sill level, except in the case of an accent gable or similar feature.
- Face brick is to be smooth or matte finish and uniform in colour and shape without pattern.
- All roofs shall be of sheet metal construction in the colours selected or equivalent material approved.
- Driveways must be of plain or coloured concrete or pavers in the colours selected or similar approved. Stencilled, patterned or textured driveways will not be approved.
- Garage doors shall be of a colour that is of a similar tone to the dominant surrounding wall or roof colour.
- Garage doors shall be detailed in plain panels or as rollers without feature patterns or windows.
- Security screens which are visible from public view shall be Amplimesh 'Clearguard' or similar [without patterns, bars or grills] approved by Stockland prior to installation. The screen frame should be of a similar colour to that of the door/window frame.



Architectural Palette

TOP PALETTE

Roof Palette (including verandahs/ porches)



ACCENT PALETTE

Dominant Element of Facade, a gable feature or projecting element



Note: Other selections that are within the same tonal range of one of the above palettes will be considered for approval. Black or near black selections will not be considered.

While every effort is made to provide accurate colour information, the colour palettes on this page are subject to variation due to printing techniques. It is recommended that actual manufacturer's samples are examined when selecting finishes for your home.

COMMUNITY PALETTE

Main Body of the Building



Window and Door Frames



Driveway Colours



5.0 LANDSCAPE DESIGN

Garden design in coastal communities is quite different to other conventional neighbourhoods. A common theme is to plant shrubs, groundcovers and grasses close to the base of your home, to soften the way in which the building sits in the landscape. This style of planting also provides privacy and barrier to the front verandah or porch and deck. The streetscape is less formal and the pedestrian approach to your home via the driveway and deck is welcoming and protected.

5.1 PRINCIPAL OUTDOOR LIVING SPACE

- A minimum of 35sqm of private open space is to be provided.
- A minimum landscaped Principal Outdoor Living Space of 25sqm with a minimum dimension of 4m is to be provided directly accessible from an internal living area.

5.2 FENCING

- Fences for rear and side boundaries shall be setback 2m behind the main building line and be constructed of lapped timber to a height of 1.8m.
- For corner lots, a fence is permissible forward of the main building line on the secondary street frontage where that fence is providing privacy to the principal area of private open space. Such a fence shall be offset a minimum distance of 12m from the primary street lot boundary.

5.3 PLANTING

- Planting in the front garden should be arranged around the base of the dwelling and in particular the verandah / porch and deck. Such planting of groundcovers and shrubs should be native species using at minimum 300mm pot sizes and 750mm spacing.
- Planting in a linear fashion on the front boundary is not encouraged and no fencing of any kind is permissible on the front property boundary.

- At least one native species tree [of minimum pot size 75L] to be planted in the front setback.
- At least one native species tree [of minimum pot size 45L] to be planted in the rear garden.
- All soft landscape areas of the lot must be landscaped with grass, groundcovers, gravel, mulching or shrubs and trees.
- Trees retained on the allotment after the subdivision works are completed are not to be lopped, pruned, damaged or removed, unless otherwise approved by Council.

5.4 ANCILLARY STRUCTURES

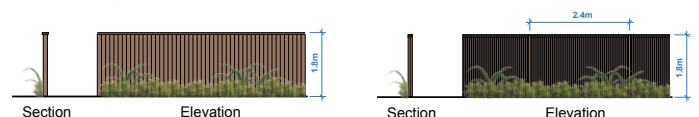
- Air conditioning units shall be located a minimum of 1m from a property boundary, behind the main building line and fixed no greater than 1.5m above the finished ground level.
- An area for rubbish bin storage shall be nominated behind the main building line and side gates and allow for the convenient storage of bins at all times.
- A clothes drying area shall be nominated on the lot, behind the main building line or side corner privacy fence.
- A letterbox shall be positioned on the property boundary adjacent the driveway and be constructed in a material and colour consistent with the main body of the dwelling house (see community palette). The letterbox structure should be a pillar of dimensions approx. 1000mm (h) x 460mm (w) x 220mm (d).
- Ancillary structures or elements such as satellite dishes, utility service metres, and garbage bins are to be screened from public view.
- A rainwater tank and pump with the capacity of at least 3000 Litres is to be provided. Above ground tanks must be screened from public view behind the building line.



Native Plant Species

The following species have been selected as appropriate to the Bayswood landscape setting and are particularly relevant to gardens facing the street. The species are all native, are drought tolerant and require less maintenance.

		HEIGHT	SPREAD
TREES			
Acmena smithii	Lily Pily	8m	6m
Banksia serrata	Old Man Banksia	8m	3m
Corymbia maculata	Spotted Gum	15m	6m
Corymbia "Summer Red"	Red Flowering Gum	5m	4m
Corymbia "Summer Beauty"	Pink Flowering Gum	5m	4m
Cupaniopsis anarcardioides	Tuckeroo	8m	5m
Elaeocarpus reticulatus	Blueberry Ash	8m	5m
Tristaniopsis laurina	Water Gum	6m	4m
SHRUBS AND ACCENTS			
Banksia "Birthday Candles"	Birthday Candles Banksia	0.5m	1m
Banksia "Coastal Cushion"	Cosatal Cushion Banksia	0.5m	1.5m
Banksia ericifolia	Heath-leaved Banksia	3m	2m
Banksia spinulosa	Hairpin Banksia	1.5m	1.5m
Callistemon "Captain Cook"	Red Bottlebrush	1m	1m
Correa alba	White Correa	1.2m	1m
Crocea exalata	Small Crocea	0.75m	0.75m
Crocea "Festival"	Festival Crocea	1m	1m
Epacris microphylla	Coral Heath	0.5m	0.5m
Eriostemon myoporoides	Long Leaf Wax Flower	1.5m	1m
Grevillea "Robyn Gordon"	Robyn Gordon Grevillea	1.2m	1.5m
Grevillea rosmarinifolia	Rosemary Grevillea	2m	2m
Grevillea sericea	Pink Spider Flower	1.2m	1m
Lambertia formosa	Mountain Devil	2m	1.5m
Westringia "Jervis Gem"	Dwarf Coast Rosemary	1m	1m
Xanthorrhoea resinosa	Grass Tree	1m	1m
GRASSES AND GROUNDCOVERS			
Anigozanthos "Bush Gems"	Kangaroo Paw	1m	1m
Brachycome "Hot Candy"	Cut-leaf Daisy	0.3m	1m
Brachycome "Mauve Delight"	Cut-leaf Daisy	0.3m	1m
Dampiera diversifolia	Dampiera	0.1m	0.5m
Dianella "Breeze"	Flax Lily	0.75m	0.5m
Dianella "Silver Streak"	Flax Lily	0.75m	0.5m
Dianella revoluta var. revoluta	Flax Lily	0.75m	0.5m
Dichondra repens	Kidney Weed	0.1m	0.3m
Epacris microphylla	Coral Heath	1m	0.5m
Grevillea lanigera "Mt Tamboritha"	Woolly Grevillea	0.3m	0.5m
Hibbertia obtusifolia	Guinea Flower	0.5m	0.5m
Lomandra longifolia	Mat Rush	0.75m	1m
Patersonia sericea	Silky Purple Flag	0.3m	0.3m
Scaevola "Purple Fanfare"	Fan Flower	0.1m	0.5m
Viola hederacea	Native Violet	0.1m	0.75m
TURF for FRONT GARDENS			
Buffalo ST-26, to match the street verge			



Section Elevation
Lapped timber fence for rear and side boundaries behind the building line

Section Elevation
Sheet metal Lysaght® 'Miniscreen' in Colorbond® Woodland Grey (or equivalent approved) for corner lot secondary street frontages. 75mm x 75mm metal posts and rail.