



Stockland Residential Communities

1st January 2011

WELCOME TO THE DESIGN ESSENTIALS

The Design Essentials form part of your Contract of Sale and assist when designing your home and landscape. They are designed to create an attractive streetscape that results in a cohesive urban form, while not precluding individual design solutions.

Stockland encourages a variety of architectural styles and materials in the design of your home. Stockland reserves the right to approve works which do not comply with the Design Essentials where considered to be of merit and to vary the requirements of the Design Essentials at its discretion.

The Design Essentials apply in addition to, and not in lieu of other statutory requirements. Approval from your Local Government Authority or a registered Building Certifier will be required in addition to any approval given by Stockland.

THE APPROVAL PROCESS

Step 1 – Stockland Design Essentials Approval

Before undertaking any building work, you must first obtain Covenant Approval in writing from Stockland. In addition to these 'Design Essentials', your builder or architect will need to review the documentation applicable to your property, which is available in the Reference Library of Stockland's online design application system "i-Scope". They will also be required to discuss with your Local Council any specific codes or conditions which may apply to your lot.

Your builder or architect will submit your design to Stockland via the i-Scope website, www.stockland-iscope.com.au. A Design Review Board (DRB) has been created to review house designs promptly and will consider applications in a clear and efficient manner.

The DRB will assess and advise if your design appropriately complies with the Design Essentials. The DRB will also assess and advise if your design meets the requirements of Council's Residential Design Guidelines (included at the rear of the Design Essentials). If a design varies from the criteria outlined in either the Design Essentials or the Council's Residential Design Guidelines, the DRB will provide a list of items that require further consideration. Where amendments are necessary, revised plans are to be submitted to the DRB.

The DRB will issue a "Design Approval" for :

- Those lots classified as 'Contemporary Residential' Lots, where the plans appropriately comply with Design Essentials **and** Council's Residential Design Guidelines; or
- those lots classified as 'Premium Residential' or 'Conservation Residential' Lots, where the plans appropriately comply with the Design Essentials and Council's Residential Design Guidelines. The DRB will then submit your plans and documentation to Council for Code Assessment. (Refer to **Figure 1** for Doonella Noosa Lot Classification)

Step 2 – Council Code Assessment Application (if required)

Development of a detached dwelling on 'Conservation Residential' and 'Premium Residential' lots will be subject to Code Assessment, which will require an application to the Sunshine Coast Regional Council.

The code assessment path is stipulated under the *Integrated Planning Act 1997*, and allows Council to ensure compliance with any original approvals and impose conditions accordingly.

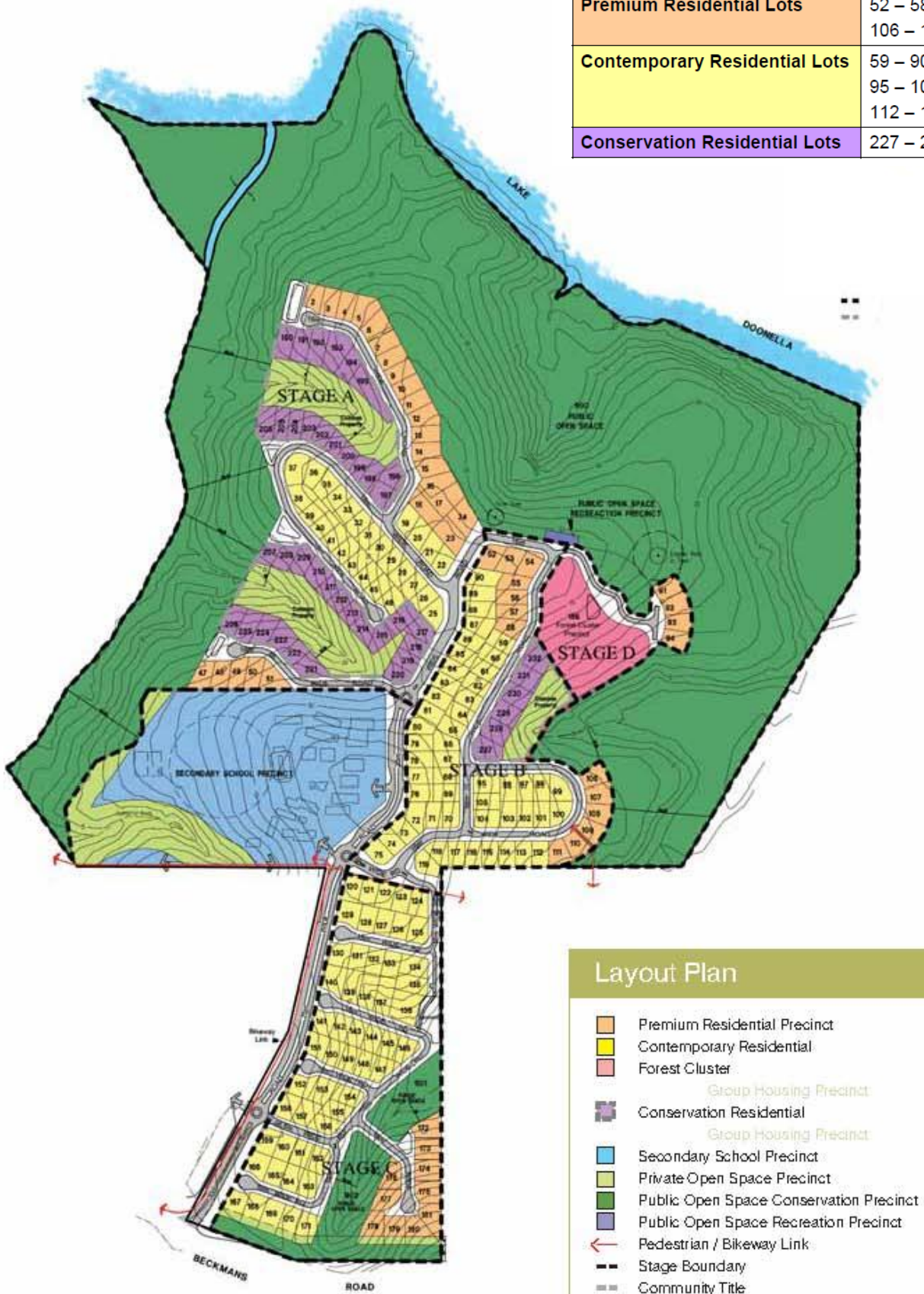
The DRB will undertake the assessment and manage the application process on your behalf. Upon completion of the application process, the DRB will provide you with a 'Design Approval' and any Council conditions.

Step 3 – Local Building Approval

Upon receipt of your 'Design Approval' from Stockland, an application can be made to the relevant authority to receive approval for building.

FIGURE 1 – Doonella Noosa Lot Classifications

Doonella Noosa Lot Classification	
Premium Residential Lots	52 – 58 (inclusive) 106 – 111 (inclusive)
Contemporary Residential Lots	59 – 90 (inclusive) 95 – 105 (inclusive) 112 – 123 (inclusive)
Conservation Residential Lots	227 – 232 (inclusive)



THE DESIGN ESSENTIALS

Glazing to the street	<ul style="list-style-type: none"> The façade area (excluding the garage door) facing a street or public area is to include sufficient glazing (10% recommended) to allow passive surveillance of the street.
Front Façade Articulation	<ul style="list-style-type: none"> Walls may be up to 7.5m long before a change in setback and eave line of at least 450mm is required. The primary entry is to incorporate a covered roof area. It is recommended that the entry roof area be at least 4m² with a minimum depth of 1.5m.
Secondary Street Façade Articulation	<ul style="list-style-type: none"> Should secondary street fencing not be provided, walls may be up to 7.5m long before a change in setback and eave line of at least 450mm or feature element is required.
Garages / Carports	<ul style="list-style-type: none"> Freestanding or attached carports and garages must include a roof design & design features which are consistent with the form and materials of the home. Garage/carport materials (incl. roof) must also be consistent with the materials of the home.
External Wall Finishes	<ul style="list-style-type: none"> Homes are to be constructed to reflect contemporary Queensland Architecture and have regard to the climatic conditions of the area and the estate's unique location External masonry walls to the front and secondary street facade are to be rendered (feature face brick is acceptable for up to 25% of the façade area) Side and rear masonry walls are to be a minimum of bagged and painted. Unfinished 'commons' bricks are not recommended. It is recommended that a minimum of 2 materials are to be used to the front and secondary street facades with no one material being more than 80% of the façade area.
Roof Pitch Hip or Gable	<ul style="list-style-type: none"> Roofing must be of a scale and form representative of contemporary Queensland Architecture. 30 degrees is the maximum pitch for any hip or gable roof. 15 degrees is the maximum pitch for a main skillion roof.
Non-Ground Mounted Plant or Equipment	<ul style="list-style-type: none"> Roof mounted items visible from the street or public spaces must be minimal including but not limited to: satellite dishes, TV aerials, external hot water services, water tanks, air conditioning units, heating units, photovoltaic cells (i.e. solar panels), spa and pool pumps, dependent person units etc. Solar panels and collectors for hot water units are the exception to this standard when orientated to maximise their effectiveness.
Driveways	<ul style="list-style-type: none"> All crossovers and driveways are to be completed prior to occupation. Driveways to have a minimum 0.5m landscaping to the side property boundary. Driveways must not be constructed from plain concrete.
Landscaping	<ul style="list-style-type: none"> Lay turf between the front building line and kerb-line prior to occupation.
Construction Obligations	<ul style="list-style-type: none"> Provide a bin or enclosure on site for the duration of the construction. Site cleanliness is to be maintained.

<p>Front Fencing Requirements</p>	<p>Please ensure you discuss your proposed fencing with your adjoining neighbour prior to construction. Please refer to the relevant 'Dividing Fences Act' and guidelines in your State and Local Government Area.</p> <p><u>Front Fencing requirements:</u></p> <ul style="list-style-type: none"> Any front fencing to be constructed will require a Covenant Approval to be obtained by the Stockland Covenant Department prior to construction. <p>The following information is permitted for Front Fencing:</p> <ul style="list-style-type: none"> Is limited to 75% of the boundary length Front fencing is to be a maximum of 1.8m in height Is to be a maximum of 1.5m in height and may extend to 1.8m in height when 50% transparent above 1.5m in height; Any front fencing must not include any unfinished materials ie; timber must be stained or painted; masonry is to be rendered and painted. There is to be no unfinished common bricks used. Where there is no front fence to be constructed, the side fence must return to the side of the house a minimum of 1mtr behind the front building line.
<p>Secondary Street Fencing Requirements (Corner Lots)</p>	<p><u>Secondary/Corner Lot Fencing requirements:</u></p> <ul style="list-style-type: none"> Is to be a maximum of 1.8m in height; Must not include any unfinished materials ie; timber must be stained or painted; masonry is to be rendered and painted. There is to be no unfinished commons bricks used Where there is no front fence to be constructed, the side fence must return to the side of the house a minimum of 1mtr behind the front building line.
<p>Side and Rear Fencing Requirements</p>	<p><u>Side and Rear Fencing requirements only:</u></p> <ul style="list-style-type: none"> Is to be a maximum of 1.8m in height; Must not include any coloured pre-finished metal or unfinished materials ie; timber must be stained or painted; masonry is to be rendered and painted. There is to be no unfinished commons bricks used Where there is no front fence to be constructed, the side fence must return to the side of the house a minimum of 1mtr behind the front building line.
<p>Retaining Walls</p>	<p>Please discuss all proposed retaining walls with your adjoining neighbour prior to construction. Please ensure that the height of the retaining is appropriate to suit the finished ground levels on all adjacent blocks.</p> <ul style="list-style-type: none"> Retaining walls visible from the street or public space are to be constructed from stone or masonry only. Where the height of the walls is 300mm or less and is not visible from the street can be built out of timber sleepers.
<p>Developer Works (Fencing, Entry Statements or Retaining Walls)</p>	<ul style="list-style-type: none"> Where the developer has constructed a fence, entry statement or retaining wall, it is to be maintained by the owner to the standard to which it was constructed by the Developer.
<p>Outbuildings</p>	<ul style="list-style-type: none"> Any outbuilding or garden shed must not be attached to the home. All outbuilding and garden sheds must be constructed behind the front or secondary street building line unless it can be shown that they are not visible (or can be adequately screened) from the adjacent street or public area.

**Ground
Mounted Plant
or Equipment**

All ground mounted services are to be screened where visible from any street or public space. This includes but is not limited to:

- Heating and Cooling units, rubbish disposal containers, swimming pools & equipment, rain water tanks, clothes hoists and washing lines.

**Presentation
and
Maintenance of
Your Lot**

You must not permit; cause or authorise any damage to:

- any adjoining lot and/or
- any other part of the Brightwater Community including but not limited to footpaths, kerb and channel, roadways and/or landscaping.

Where such damage occurs and Stockland is required to undertake repairs, the owner of the lot will be responsible to pay the cost of these works.

Your property must be kept in a clean and tidy state at all times and you must take the necessary steps to ensure the required silt fences and rubble driveways are in place and must be maintained during the total construction of your home.

Where rubbish, soil and grass cuttings are washed or blown from your lot and Stockland determines it is necessary to remove this rubbish, you will be responsible to pay for the cost of the removal.

The owner of the lot or your builder must maintain an industrial waste bin on site at all times. The industrial waste bin is to be delivered on site as soon as construction has commenced. This waste bin must be regularly emptied and must be covered when full so no material escapes the waste bin. The site must be cleared of any rubbish or building material on a daily basis with this rubbish and building material placed into the waste bin each afternoon when building activity has finished for the day.

GLOSSARY OF TERMS

'Commons' Brick	<ul style="list-style-type: none">• Brick made for general building purposes and not specially treated for colour and texture. These bricks are often larger in height to a Face brick.
Front Building Line	<ul style="list-style-type: none">• The line of the front wall of the house. This wall is the solid wall on the front façade of the home.
Façade Area	<ul style="list-style-type: none">• Façade Area is calculated as a square meter measure of the entire vertical surface of the elevation of the house visible from the Street or Public Area.
Glazing	<ul style="list-style-type: none">• Any fixed or opening panel made from glass.
Eave Line	<ul style="list-style-type: none">• The edge of the roof or parapet.
Setback	<ul style="list-style-type: none">• The distance measured from the boundary of your lot to the outermost projection of the home as per Council's requirements
Feature Element	<ul style="list-style-type: none">• May include attached materials or free standing structure that is complementary to the form and materials of the house including but not limited to: window hoods / external shades, decorative surface treatments, screens and battening.
Building and Other Legislation Amendment Act 2009 (Act)	<ul style="list-style-type: none">• These Design Essentials are to be read and applied subject to the requirements of the Building and Other Legislation Amendment Act 2009 (Act). If any term, requirement or condition in these Design Essentials (or any part of them) is invalid or unenforceable for any reason (including as a result of the application of the Act) the remaining terms, requirements and conditions will continue to apply and will be valid and enforceable to the fullest extent permitted by law.

Attachment

Sunshine Coast Regional Council RESIDENTIAL DESIGN GUIDELINES

For
Stockland
Doonella Noosa

OVERVIEW

The Design Codes have been drafted in a manner that show **Performance Criteria** - elements that must be addressed and satisfied in the design of your home and landscape, and **Acceptable Solutions** (deemed to comply criteria) - ways in which these could be achieved. Solutions other than those stated may and will exist. Any departure however from the stated acceptable solutions must be fully justified to Council.

Innovation in design is strongly encouraged to achieve low impact dwelling design, diverse styles, and unique living environments.

DESIGN REVIEW BOARD (DRB)

In order to achieve the developer's vision for *Stockland Doonella Noosa*, a Design Review Board (DRB) will be created to review house designs **prior** to an application being made to Noosa Shire Council. The board will review designs promptly and endeavour to consider applications in a clear and efficient manner.

Stockland will appoint and maintain the Design Review Board. The main aim of the Design Review Board is to provide an understanding of the Design Codes and to assist you in preparing house plans that achieve the performance criteria.

LEGISLATION

All care has been taken to ensure that the Design Codes comply with current building legislation. Any development must ensure compliance with all statutory requirements as they relate to the construction of your home including the Integrated Planning Act, Noosa Shire Town Plan, or the Building Act.

Development of a detached dwelling on 'Conservation' and 'Premium' residential lots will be subject to code assessment, which will require an application to Council. This application will be assessed against these Residential Design Guidelines, as well as elements of the approved EMP for the development and any relevant conditions in the estate approval.

The Code Assessment path is stipulated under the *Integrated Planning Act 1997*, and allows Council to ensure compliance with any original approvals and impose conditions accordingly.

PROVISIONS

Rain Water Harvesting

P1

Dwellings must integrate with the water management practices developed for the site, contribute positively to the quality, and reduce the quantity of stormwater run off from individual allotments.

A1.1

All houses shall be fitted with a rainwater collection and reuse system. This system will be appropriately designed such that runoff from all major roof areas is collected and delivered to a rainwater tank of at least the following capacity for a given precinct.

- Contemporary Residential 10kL
- Conservation and Premium Residential 15kL
- Forest Cluster Precinct Group Housing 15kL

AND

A1.2

Water collected in the tanks will be suitable for all non-potable (*non drinking water*) uses in the house and garden. These tanks **must** be fitted with a pressure pump with collected rainwater plumbed into the house to supply appropriate uses, including:

- Garden watering;
- Toilet flushing;
- Hot water supply (*optional*); and
- Washing machine use (*optional*)

AND

A1.3

Rainwater tanks should not be visible from the street unless integrated into the architectural form of the dwelling.

Moulded plastic tanks shall not be visible from the street. Such tanks shall be located to the rear of dwellings, located underground, or suitably screened.

AND

A1.4

The rainwater tank **must** be fitted with an appropriate float switch or equivalent system, such that it can be supplemented as required from potable supply. This float switch is to ensure that there is always at least 10% capacity maintained in the rainwater tank. There should be a suitable 'air gap' provided between the top water supply level in the tank and the supplement supply to prevent backflow.

AND

A1.5

All roof runoff is to be passed through an appropriate first flush diversion system that will divert the first water collected into local garden beds; and

On all lots proven by geotechnical investigation to be capable of accommodating on-site infiltration (generally those not in the vicinity of Beckmans Road), overflows from the rainwater tanks shall be directed to absorption trenches located, such that they will not affect house footings, foundations, or other such development; or

Where no such pit is required, then overflows should be either piped or directed to local lawn or garden bed areas from where they should be allowed to pass from the site onto the adjacent footpath/swale/kerb and gutter.

Water Management

P2

Dwellings must integrate with the water management practices developed for the site, and contribute positively to the quality, and reduce the quantity of stormwater run off from individual allotments.

A2.1

Dwellings shall demonstrate that the following additional water management techniques have been adopted (supply copies of approved house specifications, site plan and landscaping plan):

- Use of water efficient appliances, fixtures and hardware (all showers to be fitted with a restrictor of maximum 9 litre/minute);
- Use of permeable pavements to encourage site infiltration; and
- Use of water wise gardens and low water use plants.

Landscaping and the Garden

P3

Landscaping should complement the natural amenity of the surrounding area. Landscaping in the garden will feature extensive use of local native vegetation.

A3.1

All dwellings are to demonstrate compliance with the Noosa Shire Local Planning Policy for Landscaping.

A3.2

Plants that have a propensity to become bushland weeds are not to be used under any circumstances.

Fencing

P4

Fences shall have a design that does not encumber the ongoing use of the area by native fauna.

A4.1

All fences erected along the boundaries of open space areas are to be constructed to allow the free movement of native fauna. Split fencing and post and rail fencing is acceptable. No fencing is permitted within open space areas.

Fire Management

P5

Bush fire risk is to be minimised through application of the Fire Management principles on key allotments as documented in the Fire Management Plan and approved EMP. The establishment of Fire Protection Zones on residential lots adjacent to Public or Private open space areas is required.

A5.1

1.1. Fire Protection Zones are to comply with Figure 3C – Fire Management Areas and Fire Protection Zones (Plan No. 6812-84) and Table 11 (extract from Fire Management Plan, Part 3.2 – residential precinct development guidelines) [See Appendix 1].

Within all Fire Protection Zones:

- ~ individual large trees (200 mm DBH or greater) may be retained but their crowns should not touch the dwelling or vegetation in the adjacent bushland;
- ~ all existing understorey shrubs and all vegetation greater than 300 mm in height shall be removed;
- ~ mowable ground cover plants not exceeding 300 mm in height such as the grasses, sedges and small herbaceous plants are permitted;
- ~ understorey shrubs and trees shall not be planted;
- ~ flammable structures and landscaping materials, such as timber fences, timber pergolas, timber decks and timber sleeper walls, are prohibited;
- ~ non-flammable structures such as paved areas and swimming pools are permitted.

A5.2

Each residential allotment that includes Private Open Space, or abuts Public or Private Open Space shall provide a 20 - 25 mm water connection and garden tap, located within 2 metres of the Open Space area. Each tap shall have a permanently attached 20 m long garden hose and hose reel.

The connection and location of the hose reel must be shown on any house plans.

A5.3

Any application within the estate regardless of who is the assessment manager shall provide a statement of compliance with respect to the requirements of the Fire Management components of the Approved EMP for the site.

A5.4

All buildings (which does not include swimming pools or other structures that do not present a fire hazard) located on allotments adjoining either private open space or public open space shall be located in accordance with the setback requirements contained in the Fire Management Plan except where allotments are bounded by open space on two (2) sides and subject to Council approval this setback may be reduced.

Setbacks

P6

Dwellings are to be setback from allotment boundaries to ensure acceptable access to dwellings from roadways, avoiding the overshadowing of adjoining allotments and creating a high quality streetscape environment.

A6.1

No dwelling house (including garage/carport) shall be located within 6 metres of the front boundary, unless approval is given otherwise by Council.

A6.2

All setbacks shall comply with the Standard Building Regulation.

Slope

P7

Dwellings are to minimise disturbance of the topography on their allotments

A7.1

The extent of cut or fill on an allotment is restricted to a maximum of 1.0m. As such, the total height of any retaining wall is limited to a maximum height of 1.0m.

A8.2

Retaining walls that are visible from the street or parks must be constructed of the following materials:

- Rendered or bagged masonry;
- Treated Timber; or
- Natural stone

Energy Efficiency

P8

Residential Buildings must be designed and sited to maximise thermal comfort and minimise the need for energy consumptive heating or cooling.

A8.1

As a minimum, dwellings are to incorporate the following measures into their design

- Insulation to all roof areas to an R2.5 standard;
- All dwellings are to incorporate a combination of eave overhangs (600mm minimum) and sun hoods to shade windows;
- All main living areas are oriented to North, North East to maximise passive solar penetration; and
- All dwellings to have a solar hot water system.

Swimming Pools

P9

All pools constructed on any allotments must be fitted with a 'koala rope' to allow for an exit opportunity in the event of a koala entering the pool.

Appendix 1

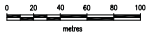
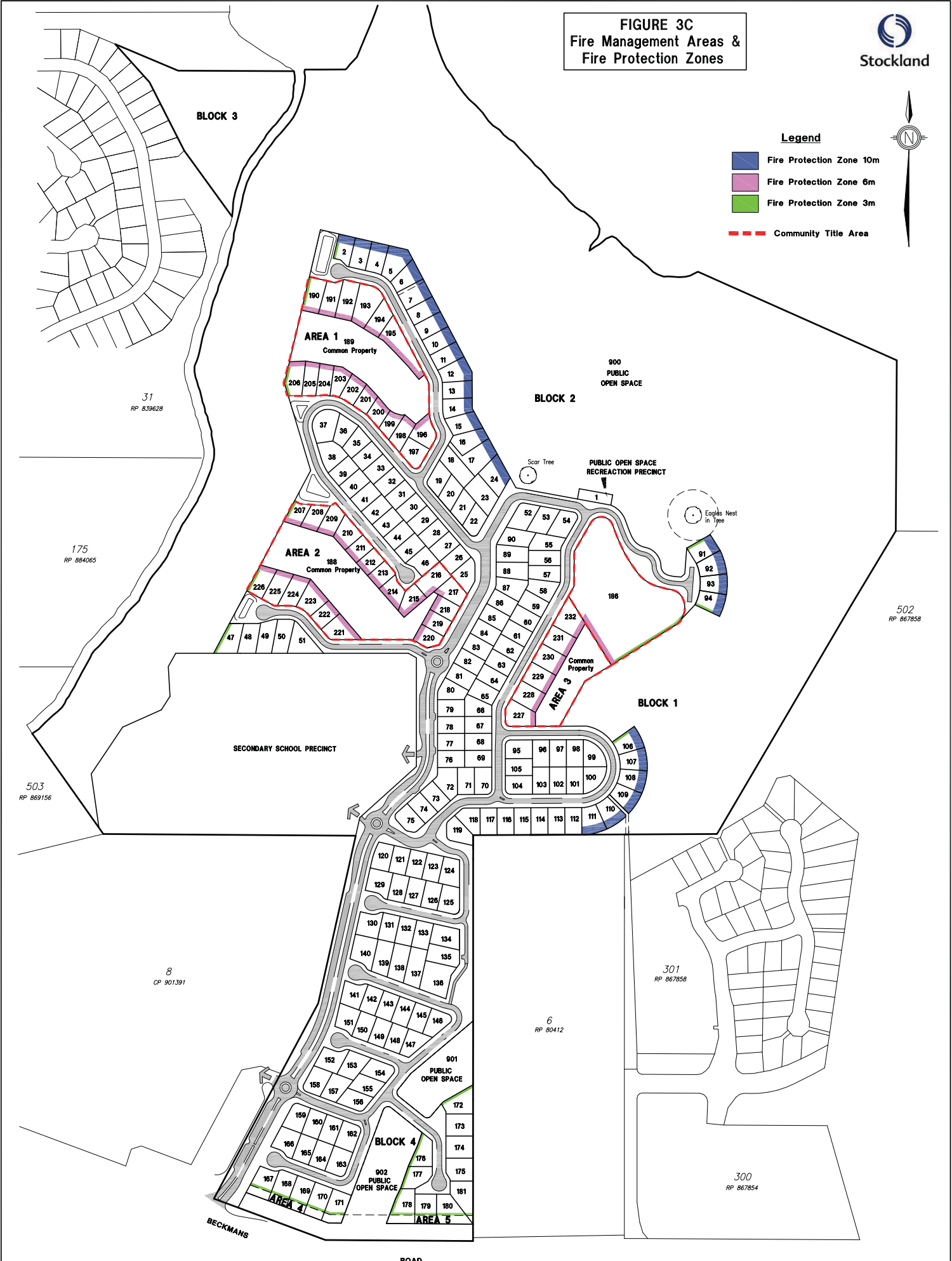
Figure 3c – Fire Management Areas and Fire Protection Zones (Plan No. 6812-84) and
Table 11 (Extract from Fire Management Plan, Part 3.2 – Residential Precinct
Development Guidelines)

FIGURE 3C
Fire Management Areas &
Fire Protection Zones



Legend

- Fire Protection Zone 10m
- Fire Protection Zone 6m
- Fire Protection Zone 3m
- Community Title Area



SCALE 1:2000 IS APPLICABLE ONLY TO THE ORIGINAL SHEET SIZE. (A1)
 Layout is approximate only and is subject to Survey, Council Approval and registration of the plan of Survey.

Project: LAKE DOONELLA		Client: STOCKLAND	
Level Datum:	Scale: 1:2000 @ A1	FIGURE 3C Fire Management Areas & Fire Protection Zones	
Origin:	Date: 0 FEB 05		
Surveyor:	Comp by: MS	Perch: TEWANTIN	Job Ref: 6812
File:	LB: DWG Name: 5812-73C.dwg	Local Authority: MOOBA B.C.	

urban design
landscape
surveying

Plan No. 5812-54