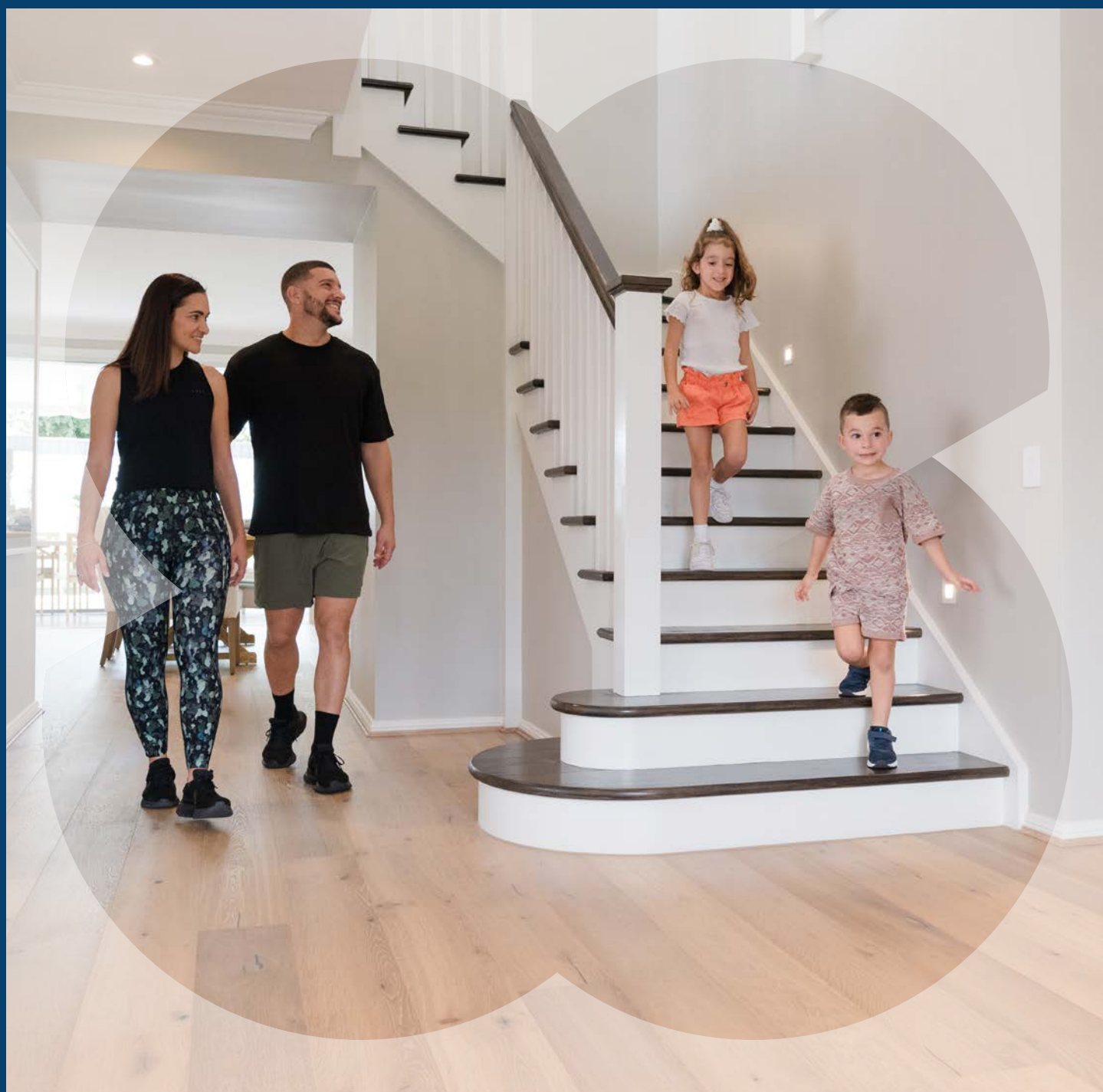


Design Essentials





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The Community Vision

Shoreline is bayside living, made better. The wonder of the great outdoors and the amenities of a proposed town centre. Places to walk, run, cycle and kayak, and places to gather and connect with family and friends.

This is the great Australian coastal dream, reimagined. Enjoy cool sea breezes and the shade of majestic fig trees, with new parklands and waterfront boardwalks ready to explore, as well as the islands beyond in Moreton Bay.

Outdoors or indoors, morning or night. On the water, or in the bush. There's more to life on the bay at Shoreline.



Guiding your home design

These Design Essentials set out the minimum requirements for new homes and their front yard landscapes within Shoreline. They are a condition of your Contract of Sale and apply in addition to any other statutory requirements. All building and landscape designs must be approved by Stockland prior to obtaining your Building Approval.

Some lots in Shoreline have special requirements for the home and landscape; these requirements seek specific outcomes for homes in key locations throughout the community. Lots with special requirements are defined on Sales Plans and must be met in addition to these Design Essentials.

Additional information is included in your Contract of Sale covering the number of dwellings permitted on your lot; plan approval and building times; the period these Design Essentials apply and site maintenance requirements prior to building.

Stockland encourages diverse and innovative design at Shoreline. Any application that is not in accordance with the Design Essentials but is considered to exhibit positive community and design outcomes may be granted approval.

Fibre optic connection

At Shoreline, fibre optic cable is installed into every street to provide access to high speed internet, free to air television and telecommunication services.

This service, provided by Opticomm, has specific requirements regarding connections. These are available from the Stockland Sales and Vision Information Centre.

For more information visit www.opticomm.net.au or contact 1300 137 800.

Statutory requirements

It is ultimately up to the Architect/Designer/Engineer and the Registered Building Surveyor/Energy Consultant to ensure that the home design complies with all of the statutory requirements related to the construction of the home.

Design approval process

Submission requirements

In order to build, you must apply and have an application package approved by Stockland's Design Services Team. Design Approval by Stockland does not constitute development or building approval or compliance with building regulations. Upon obtaining Design Approval from Stockland, a building approval must be obtained from the local government or a private building certifier before construction can commence.

The process

Stockland's Design Services Team will endeavour to assess proposals in the shortest possible time, generally within 10 business days of receiving all required information for the application. Approved plans are stamped and uploaded to the Stockland Builder Portal. The progress of the home will be monitored by Stockland to ensure that it conforms with the approved design.

If you have any questions regarding the requirements in these guidelines please email design@stockland.com.au.



1. Design your home

While designing or selecting your home, work through the Shoreline Design Essentials with your selected builder or architect.



2. Design submission

Complete the checklist and Design Approval Form on pages 26 and 27 of this document and submit it with your plans at www.portal.beveridgewilliams.com.au

You must obtain your Design Approval no later than 12 months after the settlement of your land.



3. Design approval

Stockland will assess and approve your plans once they meet the standards set out in this document. Assuming all required information is supplied and the design complies with these Design Essentials and any other applicable special requirement, approval should take no more than two weeks.



4. Building application

Provide a stamped copy of your Stockland Design Approval as part of your Building Permit Application to your Building Surveyor.



5. Time to build

Prior to and during construction your block should be well maintained and free of rubbish.

Construction of your new home and driveway must commence within 18 months and be completed within 30 months of the settlement date of your land.



6. Moving into your new home

Once you have completed your home and driveway and have obtained an Occupancy Permit, you can move in.

Your front garden must be landscaped including turf to verges and well maintained in accordance with the landscape requirements, within 6 months of the issuing of your Occupancy Permit.





Home design essentials

1. Your home and your land

1.1 Designing for your site

The design of your home should consider your specific needs and responds to the site to balance all relevant considerations as set out below.

A site-specific response allows the home and its land to maximise its potential, and includes consideration of:

- Orientation – providing light, solar access and ventilation.
- Face key living areas to the north or north east to let in winter sun.
- Shade windows and outdoor areas to protect from the summer sun. Keep west and east facing windows small with raised sill heights.
- Place operable windows on either side of your home to capture cooler summer breezes and encourage cross ventilation.
- Interface with the public realm – differing design outcomes are required for corner sites and those fronting public open space to balance the amenity of the public and private spaces and help to create a neighbourhood to be proud of.
- Views - those looking out from the home as well as those towards the home (e.g. if the home is seen from the end of a street) are assets to take advantage of.
- Private space – consider the location of these areas to maximise the amenity.
- Response to the physical environment – this includes points of access, ground levels, house design to suit the ground form, as well as landscaping in a manner that harmonises your home within the broader streetscape.



Building materials that complement the architectural style of your house add greatly to its streetscape appeal.



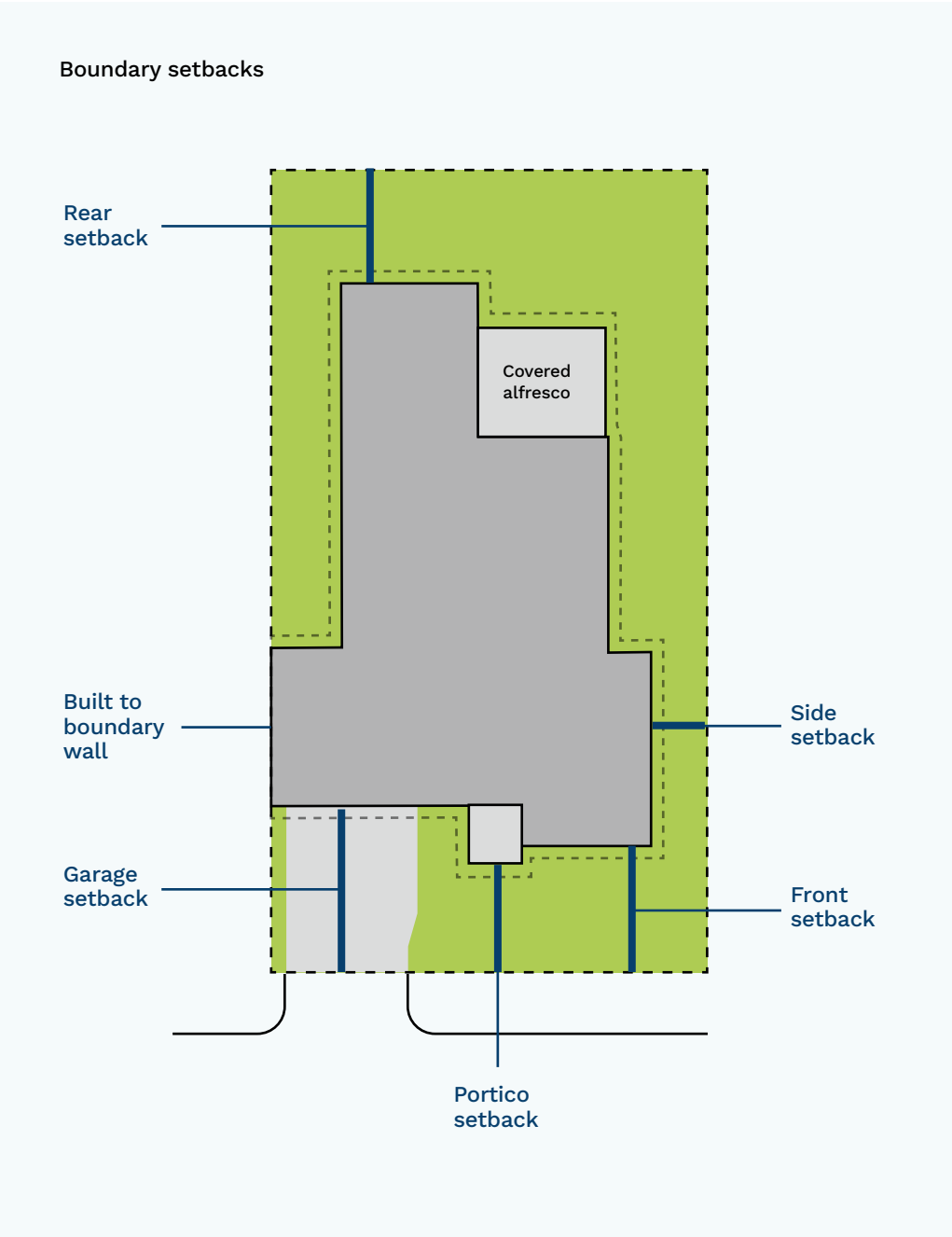
1. Your home and your land – continued

1.1 Setback plans and site cover

Setback plans are created for each lot in Shoreline. Your setback plan shows the minimum setbacks from each boundary of your block.

When you lodge for building approval, the approving authority must ensure your home complies with the setback plan, so refer to them as you design or select the home for your lot.

Site cover is the area of the footprint of your house expressed as a percentage of your lot area. The footprint of your house includes all ground floor areas measured to the outside walls and also includes covered verandahs or porches.



2. Facade design

2.1 Articulation

- Roofed elements such as extended eaves, entries, pergolas and verandahs forward of the front wall as well as recessed windows and doors, give your house a sense of depth.
- At least one habitable room must address the street frontage (or both street frontages for corner lots).
- All homes must include articulation between the alignment of the front wall and the garage on the primary frontage. The minimum acceptable alignment variation is 500mm. It is preferred that the garage is setback behind the front wall, however if your garage is the forward protruding element, the maximum distance of the protrusion is 1.0m, and the roof above your entry must project forward of the garage roof.
- Double storey homes which incorporate a minimum depth 1.5m covered verandah/balcony to the first floor for at least 40% of house width, do not require articulation between the front wall and the garage.

2.2 Windows and glazing

Windows which overlook the street and public open space should be from habitable rooms, to provide passive surveillance and take advantage of any views.

Windows facing the street must complement the house style and comprise:

- a minimum of 20% of the front facade. (Where dictated by solar orientation, a reduced area may be considered.)

2.3 Design repetition

Consult with your builder to understand if similar house designs are proposed in proximity to your lot. Where this occurs, you may wish to consider adjustments to elements within your design and/or the colour and material selections to allow for greater individuality.



Glazing to the street





2. Facade design – continued

2.4 Entry

The entry experience and its physical form is a space that is welcoming to residents and visitors and expands the threshold of crossing from the public to the private realm, allowing for a space to sit, engage, greet and connect.

- The approach to your front door must be prominent and visible to the street, covered by a porch/ verandah or portico that projects forward or above the main roof line of the home.
- All supporting posts used within the structure of the porch/portico must be of an appropriate scale and present a minimum width of 300mm to the street.
- All homes must include glazing to the entry, either through
 - the inclusion of an entry door with adjacent window
 - or a minimum 1.0m wide door which contains integrated glazing.

Entry portico



Entry portico



Prominent entry



2.5 Corner and park frontages

Homes on street corners or adjacent parks and public open space must address all street and park frontages as this adds to the appearance of your home within the public realm through visual interest and also increases passive surveillance.

- For the house elevation facing a secondary street, the first 4.0m must include at least two of the following features:
 - a continuation of the front facade's materials and detailing
 - windows of a style consistent with the front facade, with a minimum glazing area of 1m²
 - roof and wall articulation
 - wrap around verandah/pergola /balcony etc around the street corner.
- A minimum 10% of the facade area facing the secondary street or park must comprise windows or glazing.
- Homes on park frontages must address the park frontage through verandahs, balconies, decks or patios that face the park.

Wrapping the corner





2. Facade design – continued

2.6 Dual frontages

Homes which have dual frontage to a street or laneway at the rear of the lot must address both frontages.

- The dwelling must gain vehicular access from the rear access street.
- The primary private open space is to be provided between the garage and the house.
- Pedestrian access, front letterbox and a front door entry is to be from the primary frontage.
- Fencing to the rear access street must be:
 - setback a minimum of 500mm from the rear boundary;
 - be a decorative fence style, consistent with the fencing requirements outlined for secondary streets;
 - includes a landscaped garden bed between the fence and the property boundary.
- Fencing and letterbox to the front may be provided by Stockland in certain locations to provide a consistent streetscape

Vehicle access



Pedestrian frontage



2.7 Multi-unit dwellings

Homes which comprise multiple dwelling units are only permitted on lots where nominated on the sales/setback plans. All dwellings provided on these lots must be consistent with council's requirements and are to include the following additional items:

Auxiliary and secondary dwellings

- Are limited to a maximum of one single entry door to the street frontage.
- Include a combined letterbox that will service both units.
- Provide a single driveway and cross-over location that both units will gain access from.
- Includes sufficient private open space areas for each unit that are of a usable size.

Dual-occupancy, duplex and triplex dwellings

- Where accessed from multiple street frontages, entry doors are permitted from each street frontage.
- Where located on a corner lot, a maximum of one driveway accessed from each street frontage may be provided. Where located on a single street frontage, a single driveway access and cross-over must be provided that will service all dwellings.
- Include a combined letterbox that will service all dwellings.
- Include a minimum 30m² of private open space where located at ground level; or a minimum of 16m² where located as an upper level verandah or terrace.

2.8 Roof pitch and form

The roof on your home is a significant part of the visual presence that your home contributes to an attractive streetscape.

- For your roof to be in balance with your home and others in the street, the pitch of a hip or a gable is to be a minimum of 20 degrees, and not exceed a maximum of 29 degrees.
- The pitch of a skillion roof is to be between seven and 15 degrees. A minimum of two roof planes are

required to all skillion roofs to provide a balanced appearance for the roof.

- Parapet designs are only permitted where included as a feature of the overall design of the home. Single storey parapet roof designs are not permitted to the entire front facade.
- Other roof forms may also be considered where they complement the architectural intent of the home and contribute positively to the streetscape.

Skillion roof design



Alternative roof designs





2. Facade design – continued

2.9 Eaves

Eaves enhance the look of your home, boost solar performance and have a positive impact on the quality of the streetscape. We recommend that you consider eaves to all aspects of your home.

- A minimum of 450mm deep eaves must be provided to any of your home's frontages visible to a street or public open space or park. Eaves must return down the sides of the home a minimum of 3.0m from any street or public frontage.
- Two-storey homes must include eaves to all elevations of the home at the upper level.
- Eaves are not required to sections of facade finished to a built to boundary or parapet, verandah or patio/porch.

Eaves



2.10 Building materials

Building materials that complement the architectural style of your house add greatly to its streetscape appeal.

- Your front facade must include at least two different wall materials or finishes that draw attention to your home's entry and reduce the visual impact of the garage door.
- A minimum of 20% of the front facade area (excluding windows and doors) must be provided with a secondary or feature material.
- Where face brickwork is proposed within any street or public space facing facade, off-white mortar must be used, except where provided as a minor or feature element where a complementary mortar colour may be utilised.
- Unfinished materials including concrete block work, highly reflective or unpainted materials are not permitted. All external surfaces are to be in a finished state (painted or coated) prior to the occupation of your home.
- Steel roofing materials of any profile cannot be used as the predominant wall material.
- Highly reflective window tints detract from the look of your home and should not be used to any street facing frontages.

Mixture of materials





2. Facade design – continued

2.11 Colour palettes

All roof and wall colour selections are to be complementary. Overly bright and unnatural colours are only permitted as a feature accent and must not be provided as major wall elements. Dark roof and wall colours absorb heat and should be avoided. Light and medium colours are preferred as they absorb less of the sun’s energy and have a lower heat gain.

Built elements in the landscape such as fences, courtyard walls and letter boxes should use materials and colours that complement those in your home.

2.12 Garages and driveways

Garages and driveways can have a negative impact on the street when they dominate the home and landscape.

- Garage doors on the primary frontage of single storey homes must not occupy more than 55% of the width of the home.
- Any garage door should not exceed 5.4m wide.
- Where a triple garage is allowed by the local council, the additional door must not exceed 3.0m in width. Articulation is required between the garage doors, with the third garage door to be set back a minimum of 500mm behind the alignment of the other garage doors.
- Driveways and paved areas within your property cannot exceed the width of your garage door by more than 300mm.
- Your driveway must be completed before you occupy your home.
- Only one driveway access is permitted per street frontage.
- Acceptable driveway materials include pavers, concrete (either broom finished, coloured, stamped or exposed) or any combination of these elements.

Inappropriate house colour selections



- Driveways across the verge must comply with local Council requirements and widths cannot exceed 3.0m for a single garage or 5.0m for a double garage at the front property boundary. Car tracks are not permitted.
- Where a concrete footpath is provided to the front of the lot, the driveway is to integrate with the footpath in accordance with the local Council standard design drawing requirements.
- Where lots have two street frontages, the garage must be located away from the corner.
- Where access is required to service the rear of the lot of a corner lot, temporary access may be obtained from the secondary street where it does not conflict with services or streetscape planting locations; and the road facilitates this arrangement. Only one permanent driveway is permitted to each dwelling.
- Carports and shade sails are only permitted where located behind the front facade and are to comply with the setbacks for garages.

Driveway, footpath and front landscaping



Garages and driveways can have a negative impact on the street when they dominate the home and landscape.



3. Design requirements for landscaping

3.1 Front Landscape

Quality front landscaping enhances the positive impact your home will have on the streetscape.

- Your front yard, including the council owned verge, must be landscaped within six months of moving into your home.
- A minimum of 50% of your front yard must be landscaped with a combination of garden beds and grass.
- The garden area must include groundcovers, mulch and mid storey planting. The minimum size of garden beds and minimum number of trees and shrubs to be included are outlined in this table for varying lot frontages.
- Grass in the adjacent verge must be made good as part of your landscaping.
- Artificial turf is not an acceptable landscape treatment within the front yard or verge areas.
- Planted garden beds are required to the strip between your driveway and side boundary.

Other elements to consider in your landscape:

- It is preferable to include a pedestrian path separated from the driveway between the front door and the front of your lot, for pedestrian safety.
- Letterboxes are to be complemented with landscaping and must match the quality and style of the home.

Select plants that are suitable for your lifestyle, the local climate and your lot.

Front landscape details



Lot frontage	Min. number of trees	Min. number of shrubs <1m high	Min. number of groundcovers	Min. planting bed area (m²)
18m frontage or more	3	15	20	20
16m-18m frontage	2	10	15	28
14m frontage or less	1	10	15	15
Min. pot size				
Groundcover	125-140mm			
Shrubs	125-300mm			

3.2 Corner lot landscaping

On corner lots, planting including trees and shrubs must be provided to wrap the corner of the lot and address both street frontages.

3.3 Front fencing

It is preferred that your landscape flows from the street to the front of your home; however, if fencing forward of your home creates usable outdoor space, you may choose to fence the space in a way that adds quality and activation to the street.

Where fencing is desired forward of the house, it is required to be:

- Fencing along the front boundary is to be set back 500mm from the property boundary and incorporate a planted garden bed between the fence and the boundary.
- A maximum height of 1.5m. The fence can be solid up to 1.2m high, but must be at least 50% transparent where the height exceeds 1.2m.
- Where the fence includes an integrated retaining wall, a combined maximum height of 1.8m is permitted.
- Acceptable materials include rendered masonry; painted or stained timber with expressed posts and shaped paling, capping, or open metal panels.
- Solid metal fences will not be permitted.
- Where a courtyard fence is required to enclose private open space provided at the front of the home, solid fencing over 1.2m in height may be provided, subject to approval from Stockland.

Landscaping to the corner



Front fence option



Front landscape buffer





3. Design requirements for landscaping – continued

3.4 Secondary street fencing

- Fencing fronting a secondary frontage or public open space is required to be:
 - a maximum height of 2.0m including retaining
 - the fence element cannot exceed 1.8m and can be solid to this height
 - any gates provided within these fences must be of a design consistent with and complementary to the fence
 - excluding retaining elements, these fences should consist of no more than two materials/colours.
- The fence must be decorative:
 - acceptable materials include painted or stained timber with expressed posts and shaped palings or a top rail; masonry fences in brick or finished block including render and paint with suitable timber or open metal infil
 - solid metal fences will not be permitted.
- Secondary fencing must finish 4.0m behind the front wall of your home. The return section to the home must be of a consistent design and finish as the secondary fencing.
- Secondary fencing should be consistent with one of the following design examples:

Secondary street fencing options



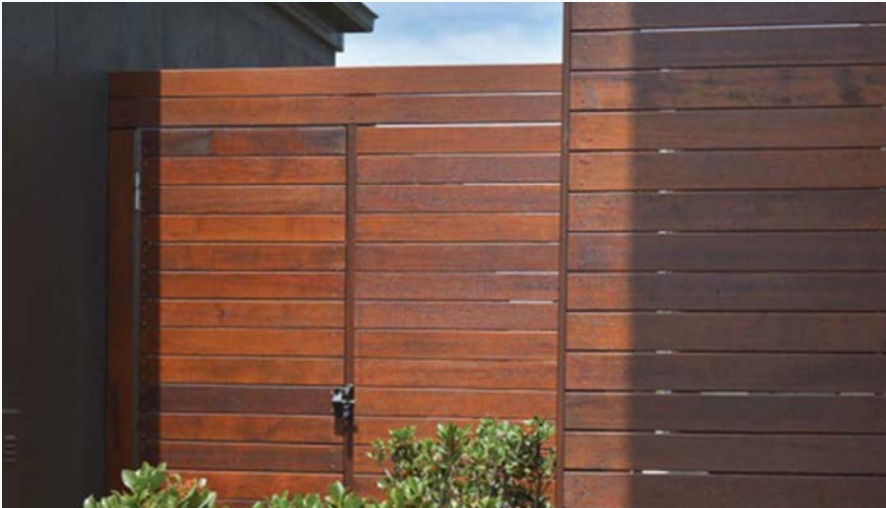
3.5 Internal boundary fencing

- Maximum 1.8m high and agreed with your neighbour where possible.
- Fencing not visible from the street should match the standard fence type of the area.
- This fence must finish at least 1.0m behind the adjacent front building line of the home and return to the side wall of the home.
- All timber side fence returns between the house and the side boundary must be painted or stained.

3.6 Fencing by Stockland

Where indicated, Stockland will build fencing. This fencing cannot be altered, removed, damaged or modified in any way without prior written approval by Stockland.

Internal fencing and side fence returns





3. Design requirements for landscaping – continued

3.7 Retaining walls

- Retaining walls that face the street need to have a positive impact on the quality of the streetscape and ensure car and pedestrian access to and from the lot and along the street is safe.
- Acceptable retaining wall materials are boulders, timber or concrete sleepers and rendered or feature block walls.
 - Retaining walls visible along street or public open space frontages cannot exceed 1.0m in height in any single step. A planted strip of minimum depth 500mm is required between the front boundary and the retaining wall.
 - Retaining walls to side boundaries between lots cannot exceed 1.0m high at the front wall of the house and must taper down forward of the home.
 - In some instances, Stockland has undertaken retaining to improve the buildability of your lot. These walls cannot be modified without approval from Stockland.

Front retaining wall



3.8 Ancillary elements and screening of structures

- Rubbish bins must be stored where they are not visible from the street or a permanent built screening structure or enclosure is to be provided.
- For elevated construction the underside of flooring must be screened to minimise the visual impact of under floor services. This may be achieved through battening, landscaping or a combination of both.
- Meter boxes, gas meters, air conditioning equipment and other services must be located in the least visually obtrusive location, away from public view from the street, or be screened or coloured to match the adjacent wall finish.
- Sheds or the storage of boats, caravans or similar must not be visible from the street or public open space.
- Rainwater tanks and clotheslines must not be visible from any street or public open space.
- Antennae and satellite dishes must not be located on the street or public frontage of the roof.

Secondary street retaining



A well-designed letterbox may assist in screening services and meters to your lot, leaving your front yard free of any unsightly servicing elements.



4. Sustainability

4.1 Solar panels

- Solar panels generate electricity from the sun and reduce the need to buy electricity during sunlight hours.
- Solar panels will need to be on the north most side of your roof as directed by the installer.
- Solar panels and solar hot water collectors and their frames visible from the street or public open space should follow the roof pitch to minimise visibility and bulk.
- The size of the system should match your day time electricity consumption.
- A minimum 1kW solar system is required to be provided to all homes.

4.2 Rainwater tank

- Solar hot water uses the heat from the sun to provide hot water for your home which reduces energy consumption.
- Solar hot water roof collectors will need to be fixed in accordance with the product specifications.
- Base the size of your hot water system relevant to your household hot water needs.



Design approval checklist

Design approval checklist

The following information and plans need to be submitted with the Design Approval Form.
All plans needs to be in A3 format. These would normally be prepared for you by your builder or architect.

Site plans

1:200

These plans must show the home you are seeking approval for including:

☐ Street address and block details

☐ Site details, including boundary dimensions and bearings, existing contours, setbacks requirements to all boundaries

☐ Proposed pad levels and finished floor levels

☐ Easements

☐ Private open space

☐ North point and scale

☐ Building outline and extent of overhangs

☐ Driveway width, location and materials, including location of existing layback to kerb

☐ Height and materials of all fences

☐ Location and capacity of solar panels and solar hot water system

☐ Location of any rainwater tanks and ancillary structures such as sheds, outbuildings, pergolas, gazebos, and pools

☐ Proposed cut and fill, building and retaining walls including materials to be used and height of walls

☐ House footprint area and total house internal and covered areas

Materials and colour schedule

☐ House brick and tile selection, where applicable

☐ House materials and colours

House plans

1:100 scale

These plans must include:

☐ Room names

☐ Internal and external dimensions

☐ Location of meter boxes

☐ Width and type of garage door

☐ Elevations of all sides of the home showing the natural ground line and proposed levels

☐ Location and extent of proposed materials and colours

☐ Location of any elements placed outside the walls or above the roof such as air conditioning condensers, solar panels, aerials and satellite dishes

☐ Roof pitch, eave widths, materials and heights

Landscape design

1:200 scale

To be prepared by designer, landscaper, horticulturist:

☐ A landscaping plan for all yard areas visible from any street or park must include paved areas, walls fences and any planting including information about species, supplied plant size and location

Design approval form



Allotment details

Lot number:

Street address:

Village/precinct

Owner Details

Name:

Mailing address:

Contact number:

Email:

Builder details

Builder company:

Builder contact name:

Builder address:

Builder contact number:

Builder contact email:

Preferred contact: ☐ Builder ☐ Owner

Building structure details

Has this house been modified in any way from the standard builders plan for this house type and facade?

☐ Yes ☐ No ☐ Unsure

Structure area (m²):

Number of bedrooms:

Levels/floors:

Wall material:

Roof material:

Roof type:

Number of car spaces in garage/carport:

NatHERS rating for home:

Rainwater tank: ☐ Yes ☐ No

Number of bathrooms:

Number of living spaces:

Gas appliances:

Solar panel system size:

Hot water system size:

Air conditioning percent of home:

Air conditioning energy rating:

LED lighting installed: ☐ Yes ☐ No

Submissions

Submit your application to portal.beveridgewilliams.com.au

Please ensure the application form includes:

Design approval form

A3 copy of full set of building plans including site plan, floor plans, roof plan, elevations and landscape plan

Materials and colour schedule

Landscape design

I/we certify that the information in the attached application is a true and accurate representation of the home I/we intend to construct. In the event that changes are made to the proposed plans, I/we will undertake to re-submit this application for approval or any changes.

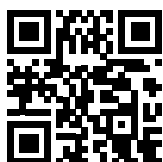
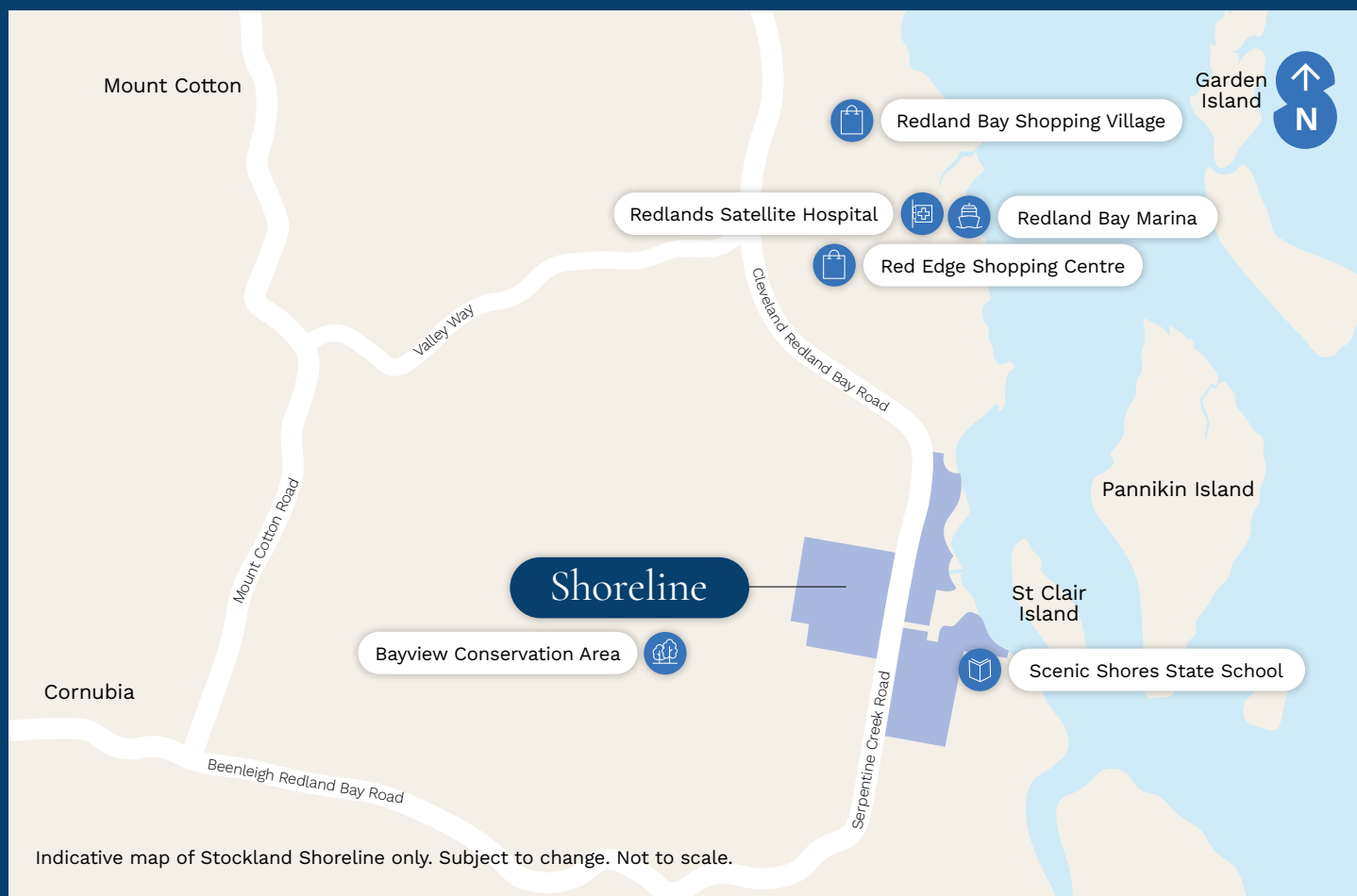
Name/s:

Signed:

Date:

Contact us

Stockland Design Services Team
design@stockland.com.au



Scan for website

All details, images, and statements are based on the intention of, and information available to, Stockland as at the date of publication November 2024 and may change due to future circumstances. All images and photographs are conceptual and indicative only. An approval issued by Stockland under these Design Essentials is not an approval or certification from the local council, from an accredited certification authority or under the requirements of any legislation. Any building plans submitted to Stockland are not checked by Stockland for compliance with structural, health or planning requirements, or for the suitability of the building for your intended use. Stockland reserves the right to approve designs and works which do not comply with these Design Essentials where considered to be of merit, and to vary, relax or waive any of the requirements in this document, at its absolute discretion. If Stockland exercises any of these rights, this will not set a precedent or imply that the same or similar approval will be repeated by Stockland in the future.