

# Augustine Heights Design Essentials

May 2017



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AUGUSTINE  
HEIGHTS

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The background is a solid gold color with a complex, abstract pattern. It features numerous overlapping triangles of varying shades of gold, creating a sense of depth and movement. Superimposed on these triangles are several sets of thin, dotted lines that form curved, concentric arcs, resembling a stylized globe or a network of connections.

# *The Design Essentials*

# Introduction

## The Vision for Augustine Heights

Augustine Heights is surrounded by breathtaking natural bushland and has easy access to the Logan and Centenary Motorways and public transport. It is already well established and close to the key services essential to everyday living. There is an abundance of spacious parklands and playgrounds including an off-leash dog park and kilometres of walking and cycling paths. Most recently, a brand new BMX park opened at Augusta Green. Augustine Heights is around the corner from Brookwater Village Shopping Centre which hosts Woolworths, medical centre and speciality stores.

There are 2 excellent schools on site which are St Augustine's College and Augusta State Primary School. Additionally, there are 11 childcare facilities and 10 public and private schools located within the area. Quality homes will complete the vision of Augustine Heights and ensure it will be an iconic community within the greater Brisbane area.

## Approval Process

Stockland has prepared the Design Essentials as an integral part of the master planning process, which means your home will form an important part of the character of Augustine Heights. Your home should be contemporary and pay particular attention to the streetscape and parkland.

These Design Essentials should be read in conjunction with the Ipswich Planning Scheme which applies for this development site, along with any other statutory requirements.

To ensure a smooth design review process, please arrange for your builder/architect to prepare a Home Design Package for endorsement by Stockland. Your Home Design Package must include a Site Plan (1:200), Floor Plan, Elevation Plans, Landscaping Plan, Fencing Plan and Colour Selections.

**The key steps in the design approval process are outlined as follows:**

Builder/Architect/Owner reviews the local Council requirements, Augustine Heights Design Essentials and Land Contract of Sale.

Builder/Architect/Owner submits the building plans to the Stockland builder portal for design approval: [builderportal.stockland.com.au](http://builderportal.stockland.com.au) which also contains relevant project information. Any queries should be directed to QLD Design:  
Phone: 07 3305 8600 Email: [design@stockland.com.au](mailto:design@stockland.com.au)

Builder/Architect/Owner obtains a building approval from an accredited Building Certifier and proceeds to construction.

## Further Information

- Visit our website at [www.stockland.com.au/residential/buying-and-building/build-new](http://www.stockland.com.au/residential/buying-and-building/build-new) to learn the building journey, handy tips and how-to videos.
- Fact sheets about building a new home are available at [www.yourhome.gov.au](http://www.yourhome.gov.au), which is a joint initiative of the Australian Government and the design and construction industries.
- Planning and development information from Council can be found at [www.ipswich.qld.gov.au](http://www.ipswich.qld.gov.au)

# Presenting your home to the street

## Setbacks and Siting

The minimum boundary setbacks and zero lot boundaries shown on the Plan of Development / Building Envelope Plan are those referenced as an indicative position so as to not interfere with the location of general locality services and optimise land contours. Any changes to these setbacks or positions are done so at the land owner's risk and a thorough investigation of any change should be made before construction of the home has commenced.

## Front Façade

Walls may be up to 7.5m long before a change in setback and eave line of at least 450mm is required.

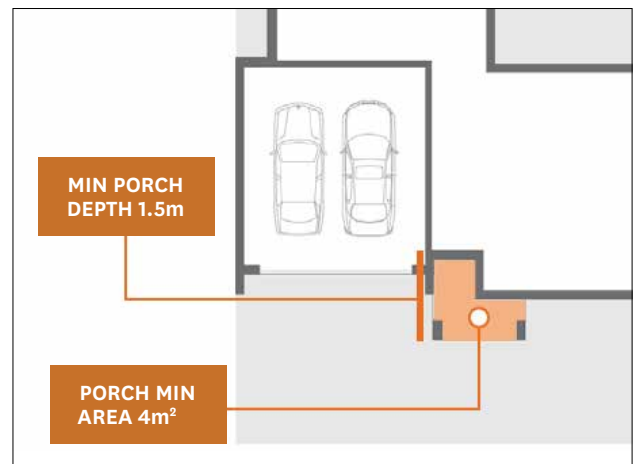
## Front Porch

The home must have a substantial, useable and attractive covered entry to encourage the use of the front yard, encourage interaction with the wider community and surveillance of the street, and provide street appeal. The covered entry must have:

- A minimum 4m<sup>2</sup> in size including eaves.
- A minimum depth of 1.5m including eaves.

## Front Glazing

The front façade (excluding windows, front door and garage door) facing the street or a public area is to include sufficient glazing at a minimum of 10% to allow for passive surveillance of the street.



# Roof

## Pitch and Material

Roofing must be of a scale and form representative of contemporary Queensland architecture.

- 30° maximum pitch for hip or gable roof.
- 15° maximum pitch for main skillion roof.
- Colorbond, Custom Orb Sheeting and Tile roofing materials are permitted.

# Corner lots

## Secondary Street Treatment

For walls facing the secondary street, the maximum length of continuous wall is 7.5m. Otherwise, a step of 450mm in setback and eave line is required to create articulation, or a feature element is required.

A minimum of 2 materials or 2 colours are to be applied to the wall facing the secondary street (excluding windows and doors).

No one material or colour can be more than 80% of the wall (excluding windows and doors) facing the secondary street.

Face brick (using off white mortar) is limited to a maximum of 50% of the wall (excluding windows and doors) facing the secondary street.

Unfinished commons brick is not permitted.

# Building materials

## Materials or Colours

Homes are to be constructed using materials that reflect contemporary Queensland architecture and have regard to the climatic conditions of the area and the community's unique location.

A minimum of 2 materials or 2 colours are to be applied to the front façade (excluding windows and doors).

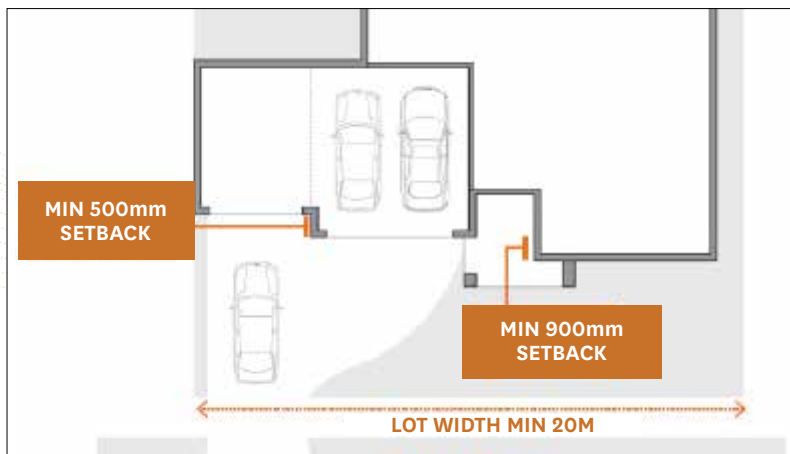
No one material or colour can be more than 80% of the front façade (excluding windows and doors).

Face brick (using off white mortar) is limited to a maximum of 50% of each external wall area (ie. front, side and rear elevations).

Unfinished commons brick is not permitted.

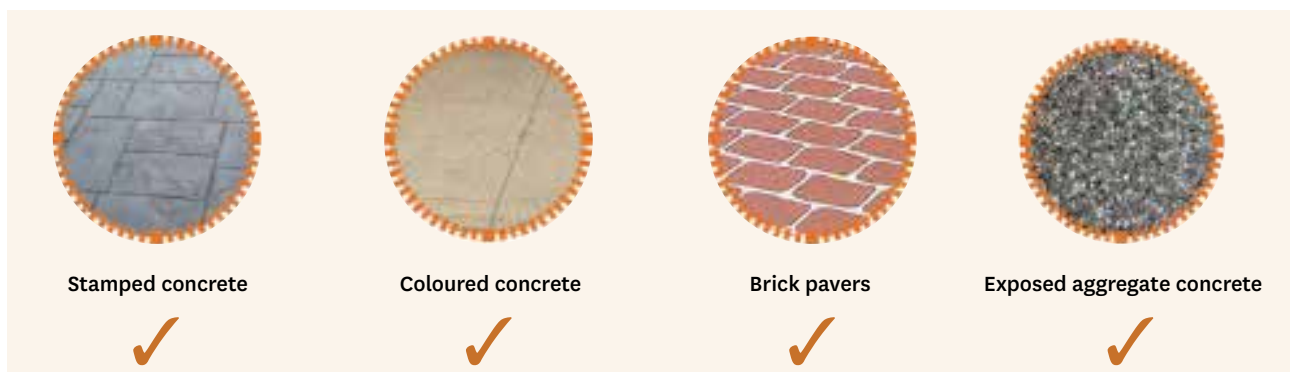
## Garage

- Freestanding or attached carports and garages must include a roof design and features consistent with the form and materials of the home.
- Carports/carport materials (including roof) must be consistent with the materials of the home.
- Garages are to be recessed a minimum of 900mm from the front building line of the home.
- Triple garages are permitted only on lots with a frontage of at least 18m and where the third garage is set back a minimum 500mm from the other garage doors.



## Driveway

- Driveways are to be offset at least 500mm from the nearest side boundary. A landscape buffer strip is to be provided between the driveway and side boundary and is to consist of turf at a minimum. Planted garden beds, shrubs, mulch and edging are encouraged but optional.
- Plain concrete is not permitted.
- Exposed aggregate, stamped concrete, coloured concrete and brick pavers are permitted.
- Driveways and crossovers are to be completed prior to occupation.
- Parking areas and hardstand materials are to be designed such that they integrate with the landscape concept for the front yard.





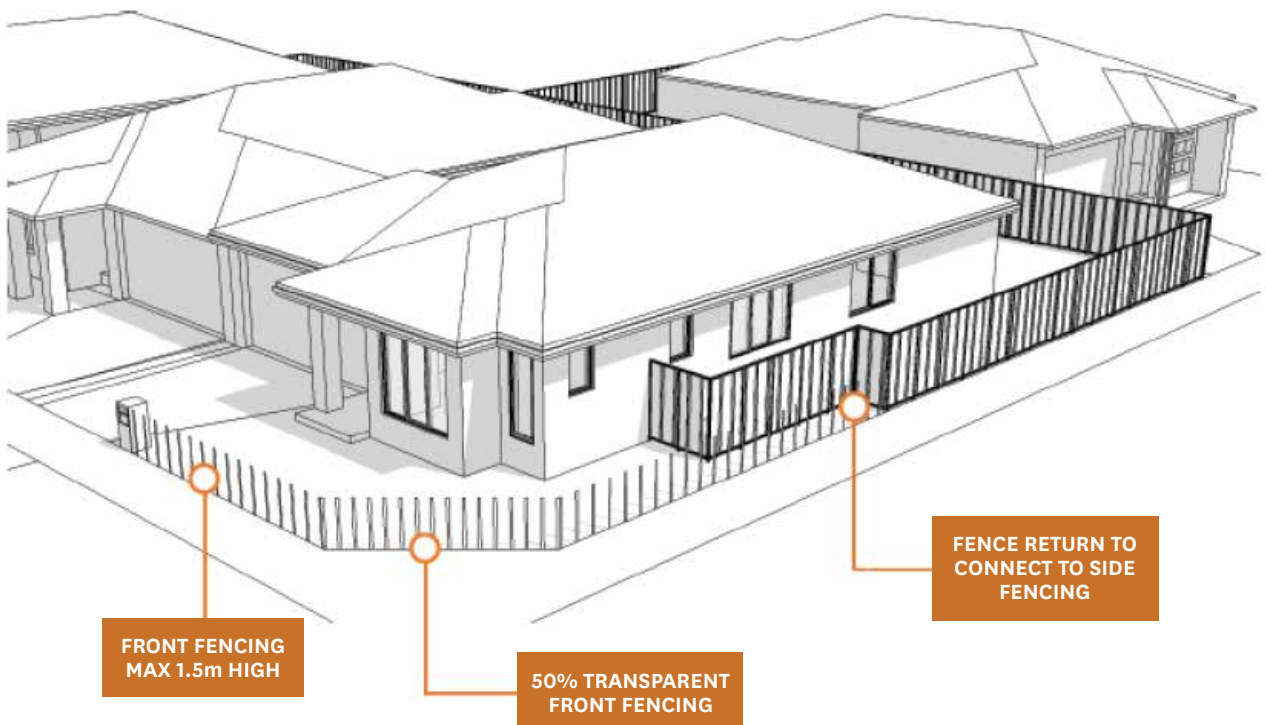
# Landscaping

- A minimum of 10% of the front yard between the front of the home and the front road boundary must have sufficient landscaping which includes turf at a minimum.
- Planted garden beds, shrubs, mulch and edging are encouraged but optional.
- Turf to the front yard is to be planted natural grass. Artificial or synthetic turf is not permitted.
- Turf must be laid in a timely manner to minimize top soil erosion or run off.

# Fencing

## Materials and Height

- Good Neighbour Fencing constructed of timber is permitted.
- Unfinished commons brick, Colorbond, tin, aluminium or any other coloured prefinished metal or unfinished material is not permitted.
- Front fencing forward of the main building line of the house facing the primary street is to be a maximum height of 1.5m and be constructed of 50% transparent material such as pool type tubular aluminium fencing. It may extend to a maximum height of 1.8m when 50% transparent above 1.5m in height.
- Side fencing must return to the house a minimum of 1m behind the main building line of the house, where there is no front fencing forward of the main building line of the house.
- Where the side boundary forms the rear boundary of an adjoining lot, the side fence may continue to the front of the lot.
- Side and rear fencing is to be a maximum height of 1.8m.



# Fencing - continued

## Corner Lot Side Fencing (Secondary Street Frontage)

Fencing not provided by Stockland to the secondary street frontage and viewed from the street or public space must have:

- Maximum height of 1.8m.
- Where solid fencing is provided, must include:
  - Feature elements and recessed areas (minimum 500mm deep and 2.5m in length) in order to accommodate landscape planting at intervals no greater than 12m apart; or
  - Where no landscape recesses are provided, solid fencing is limited to a maximum of 50% of the boundary length.
- Where timber fencing is provided, must include:
  - Lapped timber palings with a matching top rail;
  - A minimum of 150mm x 150mm hardwood posts expressed to the street; and
  - Be provided with a stained or painted finish.
- Unfinished commons brick, Colorbond, tin, aluminium or any other coloured prefinished metal or unfinished material is not permitted.
- Where no front fence is used, the secondary street fence must return to the house a minimum of 1m behind the front building line.

Please discuss proposed fencing with your adjoining neighbours prior to construction and refer to the relevant Neighbourhood Disputes (Dividing Fences and Trees) Act 2011 legislation and guidelines in your state and local government area.

# Retaining walls

## Materials & Height

Retaining walls visible from the street or public space:

- Are limited to 1.8m in height before use of a 500mm wide landscape terrace.
- Are to be constructed from timber sleepers if 300mm or less in height.
- Are to be constructed from stone or masonry if 301mm or more in height.

Retaining walls not visible from the street or public space can be constructed of any material with a maximum height of 1.8m.

Please discuss proposed retaining walls with each adjoining neighbour prior to construction to ensure that the height of the retaining wall is appropriate to suit the finished ground levels on each adjacent block.

# Exteriors

## Screening

- All ground mounted equipment must be screened from public view and must not be visible from any street or public space. This includes (but is not limited to) heating and cooling units, rubbish disposal containers, swimming pools and equipment, water tanks and clotheslines.
- Non-ground mounted equipment items visible from the street or public spaces must be minimal including (but not limited to) satellite dishes, TV aerials, external hot water services, water tanks, air conditioning units, heating units, spa and pool pumps, dependent person units etc.
- Solar panels and collectors for hot water units are the exception to this standard when orientated to maximise their effectiveness.

## Exteriors - continued

### Outbuildings and Garden Sheds

- The appearance of any outbuildings or garden sheds should be carefully designed and:
- Must be constructed in an approved finish to complement the house.
- Must not be attached to the home.
- Must be positioned behind the front or secondary street building line of the house, unless it can be shown that they are not visible (or can be adequately screened) from the adjacent street or public area.
- Are considered an extension of the main dwelling if greater than 9m<sup>2</sup> and therefore must satisfy the building setbacks and external material finish requirements as per the main dwelling.

## Construction obligations

- Provide a bin or enclosure on site for the duration of the construction period.
- Site cleanliness is to be maintained.
- Where the developer has constructed a fence, entry statement or retaining wall, it is to be maintained by the owner to the standard to which it was constructed.

### Design variation

Where designs are proposed that will vary from The Design Guidelines, they will be assessed on their design merit by the Stockland Design Review Panel. Variations will be considered only where it can be demonstrated that the design still achieves the desired objectives for the creation of an aspirational community at Augustine Heights.





All details, images, and statements are based on the intention of, and information available to, Stockland as at the date of publication May 2017 and may change due to future circumstances. All images and photographs are conceptual and indicative only. An approval issued by Stockland under these Design Essentials is not an approval or certification from the local Council, from an accredited certification authority or under the requirements of any legislation. Any building plans submitted to Stockland are not checked by Stockland for compliance with structural, health or planning requirements, or for the suitability of the building for your intended use. Stockland reserves the right to approve designs and works which do not comply with these Design Essentials where considered to be of merit, and to vary, relax or waive any of the requirements in this document, at its absolute discretion. If Stockland exercises any of these rights, this will not set a precedent or imply that the same or similar approval will be repeated by Stockland in the future.

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