

Design Essentials for your home & garden

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Contents.

Stockland's commitment

The Stockland design approval process

Developer's responsibility

Design Essentials

- 1. Siting & servicing your Home**
- 2. The style of your home**
- 3. How your home address's the street**
- 4. Finishing the outside of your home**
- 5. Fencing your home**
- 6. How to make additions to your home**
- 7. Special Requirements (included if applicable)**

Stockland's commitment.

Stockland's commitment to you is to provide certainty about the standard of housing design in your new community and assure you that everyone will contribute equally to achieving a welcoming neighbourhood character.

The Stockland design approval process.

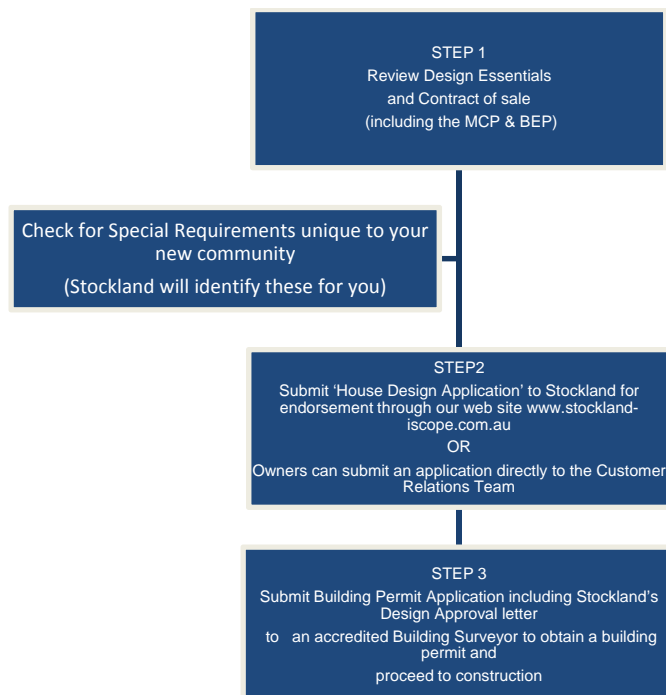
The Design Essentials set the standard for each new home and garden. The Design Essentials are supported by a Council approved Memorandum of Common Provisions (MCP) and Building Envelope Plan (BEP) provided by Stockland with your contract of sale.

The documents identified above will guide you during the design of your home. Your home design must then be submitted to Stockland for approval prior to applying for your building permit.

Design approval from Stockland does not constitute building approval or compliance with building regulations. Stockland will assess your design in the shortest possible time, generally within ten business days of receiving all required information for the application.

The details of what you need to include in the application package are set out in the Design Approval Application Form at the end of this document.

All queries and comments in regard to the home design approval process and requirements should be directed to the Stockland Customer Relations Co-ordinator on (03) 9095 5000.



Developer's responsibility

Whilst Stockland will endeavour to ensure compliance with these Design Essentials wherever possible, Stockland will not be responsible or liable to any person for any loss, damage or injury arising whether directly or indirectly from any non-compliance with these Design Essentials

1. Siting & Servicing your home

Setbacks

All minimum setbacks must be as shown on the Building Envelope plan contained within the Memorandum of Common Provisions (MCP) provided by Stockland in your contract of sale.

Service Connections

You must ensure that your home is connected to all available in ground services according to the service providers standards including the purple pipe system for recycled water and the broad band optic fibre network if present.

2. The style of your home

Home style

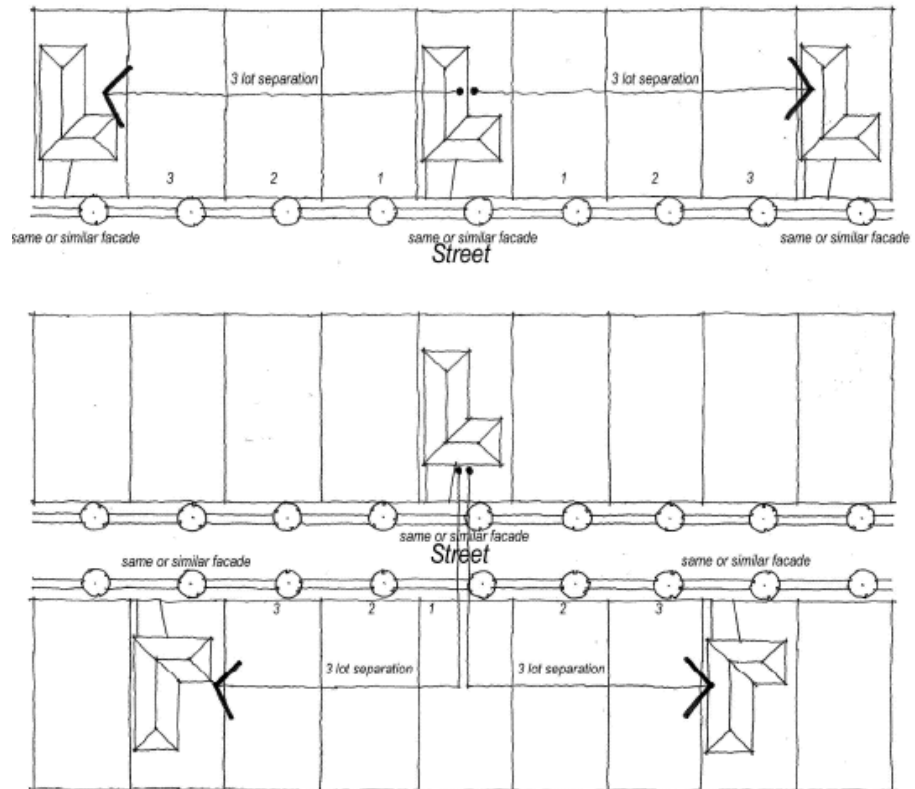
Your home design must be "contemporary" in keeping with the other homes in your street. Replica copies of heritage styles and detailing will not be permitted.



House design separation

Your house must not be the same as one within three lots either side or across the street, unless:

- it is approved in writing by Stockland and/or
- the house is part of a row of terraced homes or a medium density development.



Parapet Walls

Any side parapet wall must return around the front facade a minimum of 480mm.

The side parapet must match the quality and finish of the front parapet.

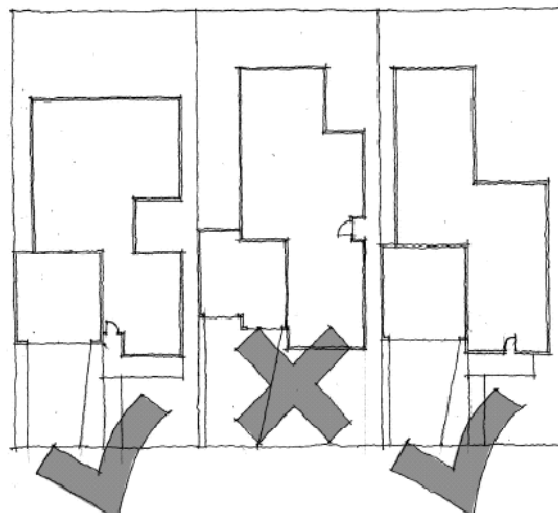
Roof Pitch

A minimum roof pitch of 22.5 degrees is required unless it is a skillion or curved roof.

3. How your home addresses the street:

Front Door facing the street

Your home must have a front door facing the street and either a verandah, porch or portico.



Windows facing the street
Corner & Rear Access Lots

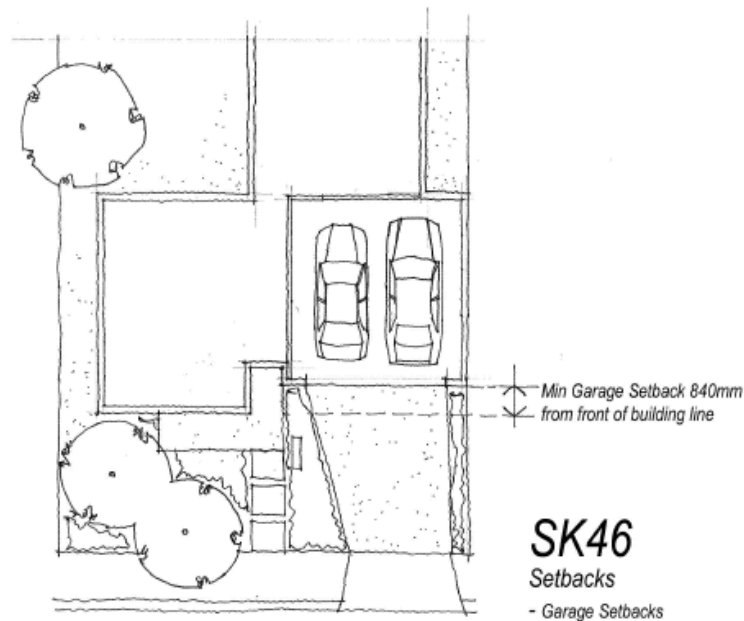
Walls that are visible from the front, side or rear streets must have windows.

In the case of corner and rear accessed allotments, windows must face all visible street frontages and be in the same style as the front façade.

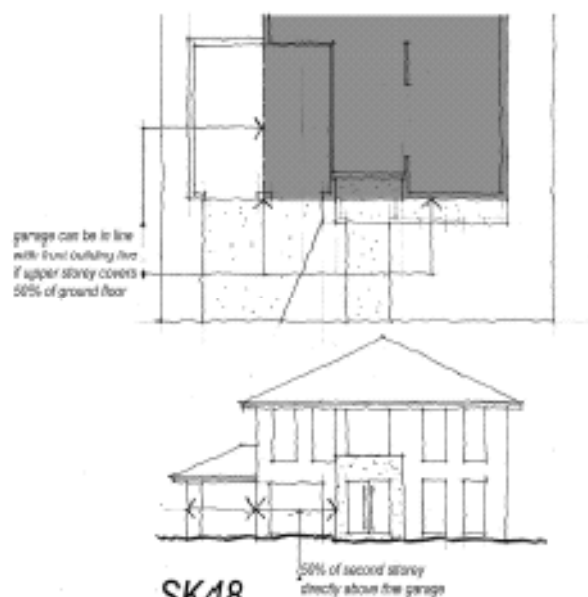
A building on a corner lot may encroach not more than 300 millimetres into the setback on a side street for a maximum length of 10 per cent of the building wall facing that side street. The garage must be attached and match the quality and finish of the exterior of your home. Carports will not be approved.

Garages

Single and double garages must be set back 840mm from the front or side building line unless otherwise noted on the MCP.



The exception to this is where the house is double storey and the second level covers 50% of the garage area. In this case, the garage can be in line with the front or side building line.



Rear Access Garages

A Garage accessed from the rear of the property must be setback 500mm minimum from the rear property line.

Rear access garages can be detached but must match the look of the dwelling

Triple Garages

If a triple garage frontage is proposed then:

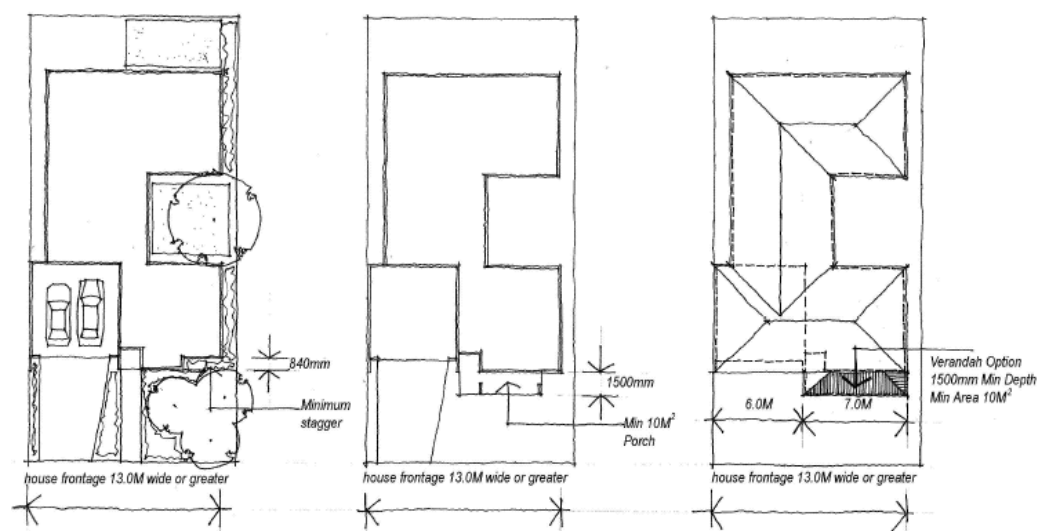
- the lot width must be at least 20.0m frontage
- the third garage must be setback a further 840mm from the other garage doors.

Requirements for homes that are 13m or more in width

Where a home is 13.0m wide or greater at least one of the following is required:

- a step in the front façade of a minimum 840mm (this step must be in addition to any step at the garage), OR.
- A portico / verandah with a minimum area of 10 sqm. The porch must also have a depth of minimum 1.5m deep at some point, OR
- A verandah for the full length of the frontage (excluding the garage).

Note: An entry recess is not a step in the façade.



Double storey homes

Single storey colour and material requirements apply to the second storey.

Front or side street and rear laneway facing second storey facades must incorporate balconies and/or additional setbacks and articulation.

4. Finishing the outside of your home :

Choosing External materials

All external materials and colours must suit the character of the neighbourhood and be submitted to Stockland for approval.

For homes on corner and rear accessed lots the front street elevation materials and colours must continue for all facades visible to the street.

Roof, gutters and downpipes

Gutter & downpipe colours are to match the roof colour

Your Garden

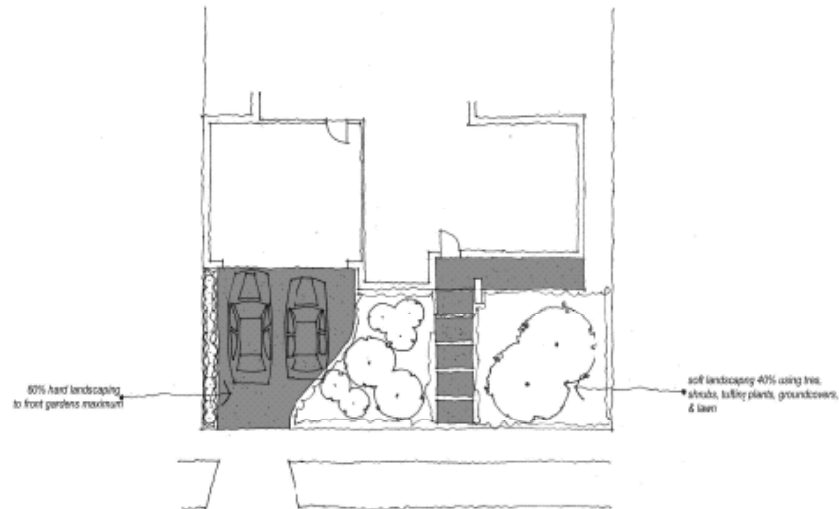
Extent of landscaping

All parts of the lot not built on or paved that are visible from a front or side street or rear laneway must be well maintained and landscaped.

Garden beds are to contain organic or pebble mulch.

Your garden must be completed within 1 year of Stockland receiving your certificate of occupancy.

Stockland encourage you to landscape and maintain the nature strip in front of your home.



Extent of hard paving

No more than 60% of your front garden is to be hard paved. This includes your driveway.

Driveways

The driveway is to be shown on the house plans submitted to Stockland for approval

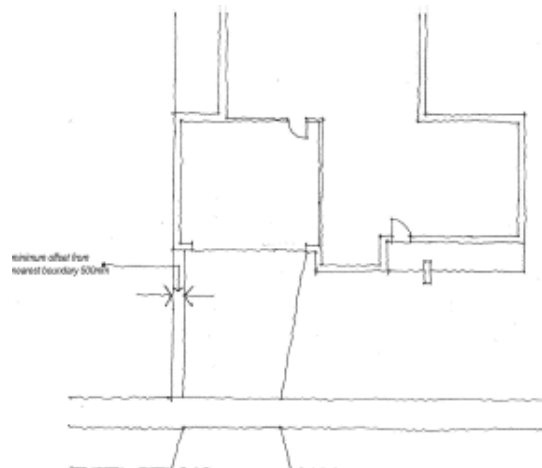
The driveway must be offset a minimum of 500mm from the nearest side boundary.

Driveways must align with the crossover provided and be constructed within 1 year of Stockland receiving your certificate of occupancy

Acceptable driveway materials are:

- Stamped or patterned coloured concrete;
- Brick, slate or natural stone pavers;
- Exposed aggregate concrete.

Plain concrete driveways (in light-grey 'standard' concrete) are prohibited.



5.Fencing your home:

General Fencing Requirements

Stockland do not provide fencing. Fencing layout drawings must be submitted with your house plans for Stockland approval.

Fencing other than optional front fencing is to be constructed prior to you moving in to your home.

Pre-existing fencing is not to be removed for any reason without prior written consent from Stockland's Customer Relations representative.

Optional Decorative Front fences & retaining walls

Front fences and retaining walls are permitted where they:

- compliment the style and colour scheme of the home
- Are no higher than 1m
- Are 50% transparent
- Return along the side boundaries to connect back to the side fences or walls of your home
- Have been approved by Stockland

If an adjoining neighbour has already built a Stockland approved front fence, your fence will not have to return along the adjoining side boundary.

If you choose to fence the front of your lot, you must submit fencing layout and design drawings for approval by Stockland before commencing construction.

Chain mesh or chain link fencing systems will not be approved.

Mandatory Side and rear fencing

The following fencing standard is required:

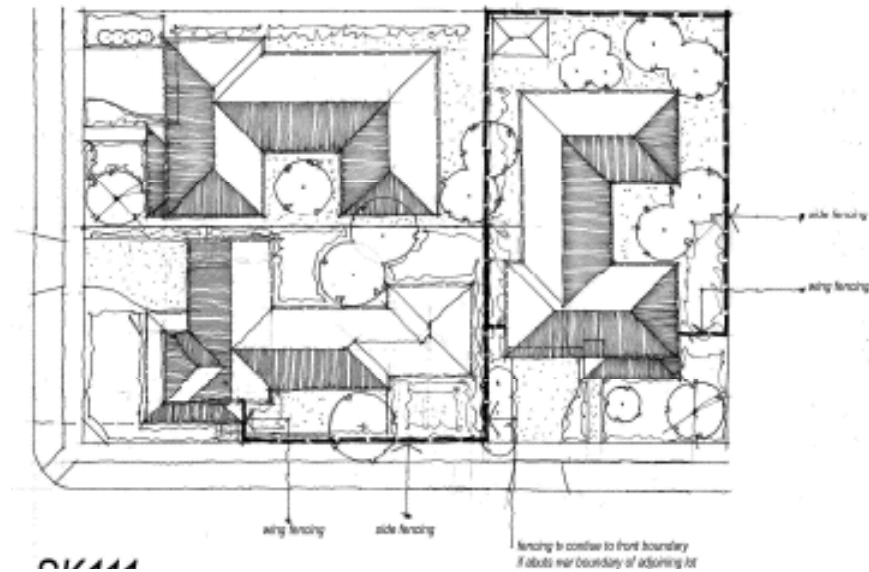
- To be constructed of 1.8m high pre-coated metal sheeting panels (eg. Colorbond®) in 'Grey Ridge' colour or coloured to match
- Acceptable fencing profiles include Lysaght's® 'Neetascreen' or Stratco's® 'Superdek' range, or similar profiles approved in writing by Stockland's Architect,
- Be returned at 90 degrees to the home, to connect with the side of the home or garage wall at least 2.0m behind the nearest front facade.
- Continue to the front of the lot if a side boundary forms the rear boundary of an adjoining lot unless otherwise specified

Mandatory Side fencing to corner and rear access lots

The following fencing standard is required:

- Be constructed of 1.8m high pre-coated metal sheeting panels (eg. Colorbond®) in 'Grey Ridge' colour or coloured to match
- Acceptable fencing profiles include 'Homestead' profile with Lysaghts'® 'Miniscreen' or Stratco's® CGI 'Mini' range or similar profiles approved in writing by Stockland's Architect.
- Return at 90 degrees to the home to connect with the side of the home or garage wall at least 1.0m behind the nearest front facade.
- Not exceed 60% of the length of the side boundary as depicted in the BEP.
- On sloping sites fences should be stepped.
- All fencing shall be set true and plumb.

Fences on corner lots must not extend beyond the point indicated on the relevant council approved building envelope plan contained in your MCP.



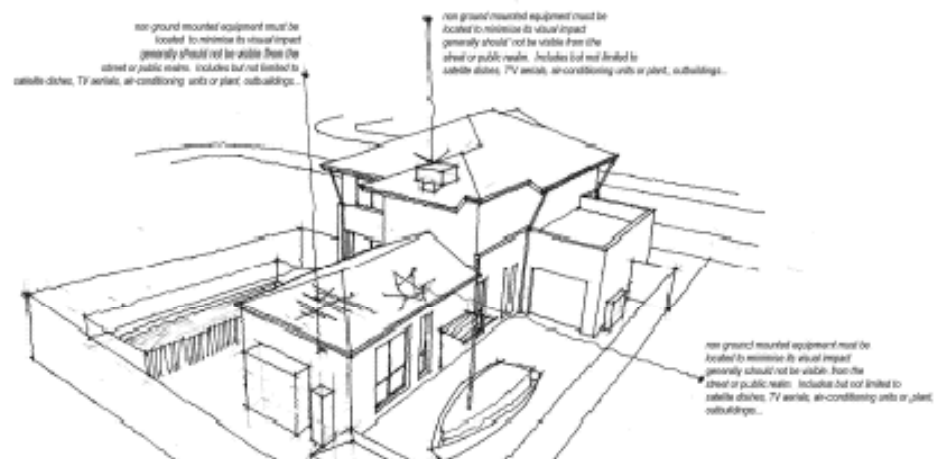
6. How to make additions to your home:

General Requirements

Any additions, fixtures, equipment, sheds, outbuildings or pergolas must be located to the rear of your home out of sight from your street or any public reserve.

This includes (but is not limited to) satellite dishes, external hot water services, solar hot water systems with roof mounted tanks, water tanks, spa pumps, heating and cooling units, rubbish disposal containers, rain water tanks, and washing lines, solar pool heating coils.

Solar panels for heating water or generating energy are exceptions to this requirement.



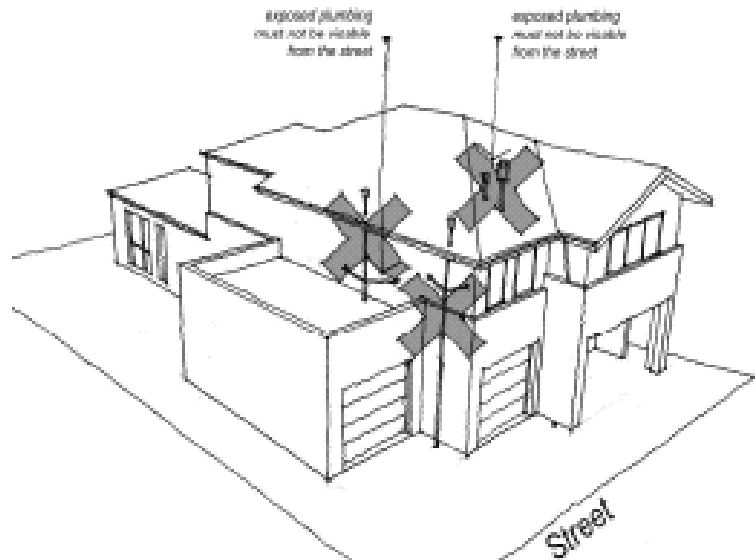
Evaporative Cooler Units

Evaporative cooler units must be the low profile "contour" type and the same colour as your roof and placed at the rear of the roof ensuring that the top of the unit is below the roof ridgeline

Exposed plumbing

Exposed plumbing must not be visible from the front or side street or neighbouring public reserves.

This excludes gutters and downpipes.



Sheds, Outbuildings, Pergolas

Any shed, outbuilding or pergola greater than 10m² in area that is more than 3m in height above natural ground level must compliment the finish of your home and be approved by Stockland.

