



HORIZON

Design Essentials



Stockland


North Shore
THERE'S MORE TO LIFE

Welcome to the Design Essentials

The Design Essentials form part of your Contract of Sale and assist when designing your home and garden. They are designed to create an attractive streetscape that results in a cohesive urban form, while not precluding individual design solutions.

Stockland encourages a variety of architectural styles and materials in the design of your home. Stockland reserves the right to approve works which do not comply with the Design Essentials where considered to be of merit and to vary the requirements of the Design Essentials at its discretion.

The Design Essentials apply in addition to, and not in lieu of other statutory requirements. Approval from your Local Government Authority or a registered building certifier will be required in addition to any approval given by Stockland.

The Approval Process

Step 1 – Stockland Design Essentials Approval

To protect your investment, Stockland has created a Design Review Panel (DRP) to evaluate all proposed home designs within Horizon. Innovation is encouraged and designs will be assessed primarily upon Architectural merit, however this document sets out some minimum standards which underpin the premium nature of Horizon.

Before undertaking any building work, you must first obtain written approval from Stockland. In addition to these 'Design Essentials', please consult the 'Building Envelope & Driveway Access Plan' available on iScope. Please also discuss with Townsville City Council any specific codes or conditions which may apply to your lot.

Submit your design to Stockland via iScope. Stockland will issue a 'Design Approval' where the plans appropriately comply with the Design Essentials. Where not suitably complying, Stockland will identify the items requiring further consideration. Where amendments are necessary, revised plans are to be submitted to Stockland for approval before you can build.

Step 2 – Local Building Approval

Upon receipt of your approval from Stockland, an application can be made to the Townsville City Council to receive approval for building.



The Horizon Vision

Limited only by your imagination, Horizon at North Shore allows you to create the lifestyle you dream of. A grand entry welcomes you home in style and surrounding lavish gardens form a sense of exclusive calm. Relax in tranquility of nature in 1 of 3 Horizon parks.

Horizon is North Shore living at its finest
Large homesites, exclusive homes and grand lifestyles...
Custom parks, wider streets...
North Shore's most exclusive address, designed just for you...
Your dream lifestyle is now on the Horizon.

Grand Homesites



An exclusive village on a grand scale. Spend more time in the backyard with grand homesites from 750m² to 1,000m². The freedom to do it all... a pool, a shed, a court, a landscaped oasis... the choice is yours.

Arrive Home in Style



With exclusive street entries and unique wider streets you will feel the difference and know you have arrived.

Designer Parklands



Relax, entertain and unwind in the finest parks North Queensland has to offer. Horizon designer parklands are truly exceptional places, with custom built furniture focusing on relaxation, your parks are like no other.

Exclusive Address



Grand entries, sandstone features and open view lines are on your Horizon. An island within North Queensland's premier community, Horizon will be exclusively positioned offering the best of the best. A premium lifestyle in the heart of North Shore... the choice you have been waiting for.

Innovation, Design Themes and Character

The Design Guidelines have been developed as an integral part of the master planning process, which means your home will form an important part of the character of Horizon.

Quality homes will complete the vision and ensure Horizon will be an iconic village within the broader North Shore community.

Queensland has a unique architectural character suited to our climate. Your home and the layout of your allotment will vary significantly depending on the orientation. It is critical that you address the Townsville climate to maximise the passive cooling of the surrounding environment.

Your home should be contemporary and pay particular attention to the streetscape and parkland.

Stockland encourage owners and their architects or builders to be innovative, explore the latest technology, materials, building techniques and consider building two storeys to capture the prevailing breezes and maximize your private open space opportunities.

Stockland's commitment during the Horizon design process is by way of limiting the mandatory requirements and opening the door to design innovation.

These Design Essentials are a minimum set of guidelines that you must comply with, however innovation and Architectural excellence is encouraged and we recognise the importance of individuality. To this end, where the design does not strictly comply with the Essentials it will be assessed on its architectural merit.

To oversee and assess all home designs Stockland have formed a Design Review Panel comprising Urban Design and Architectural professionals.

To help you out throughout the design process, the Design Review Panel will be available to assist you and your Architect or Builder, and provide guidance prior to lodgement on iscope on what will be acceptable for the premium village of Horizon.

The design review panel can be contacted at the following email address: North.Shore@Stockland.com.au

A premium lifestyle in the heart of North Shore... it's the choice you have been waiting for.

These design features offer you as the home owner some unique design opportunities, which will contribute to completing the vision for Horizon as a premium living location, and in doing so better your lifestyle and protect the vision for Horizon.



Free Landscape Design Service

The landscape design in Horizon will be of exceptional quality. The character and signature materials will provide Horizon residents with a feeling of exclusivity, visually delineating the development from the remainder of North Shore.

Horizon contains a series of recreational nodes specific to the development, each containing its own key features and communal outdoor living areas. Each of these recreational nodes is connected by wide open streets and a path network, which easily connects with the Green Spine and the broader North Shore area, enabling residents to safely walk from their homes to all major facilities located within North Shore, including Central Park and the Town Centre.

The design of the streetscapes throughout the development aims to encompass great landscaping from home front to home front offering a generous feeling of green open space. The perceived 'extensions' of the front yards into the streetscape verge will create a network of linear open space, focusing on pedestrians rather than vehicles, connecting individual homes to adjacent parklands and the greater North Shore region.

Stockland recognize that to deliver an integrated vision, residents will need assistance throughout the landscaping process. Stockland will provide each home owner in Horizon (at no cost to the owner) a Landscape Design Consultation Service undertaken by a professional award winning Landscape Architect.

As part of your Landscape Concept, you will receive:

1 x A3 Surface Finishes Plan

1 x A3 Planting Plan

1 x Plant Schedule

1 x Material Selections Palate

For your initial consultation please come prepared with the following:

- Your landscaping budget (if known);
- Your home design site plans on A3 (5 copies to enable sketches to be done) – i.e. your home laid out on a site plan – your builder can provide you with these;

To ensure you get the best value out of this free service, you may like to also come prepared with: your ideas – photos of things you like, cut-outs from magazines, your own sketches; Consider how you want your landscaping to co-ordinate with your house – paths to clothes lines, service areas, bin enclosures, shading over outdoor areas; And bring your imagination!

The process for the Landscape design is as follows:

1. **Complete your Home design** (or concept design with your builder);

2. **Contact us.** Once your Home concept designs are completed, contact North.Shore@Stockland.com.au to book an appointment with our Landscape Architect;

3. **Meet with our Landscape Architect.** At the appointment with our Architect you will discuss your dream garden and home landscaping. Our Architect will also provide you professional advice and together set the objectives for your landscaping;

4. **Architect will complete Concept design.** Our Architect will then complete an initial concept and send the concept to you by email;

5. **Review the concept design.** Take your time and review the concept and discuss the concepts with your builder. Ensure you understand the price to construct the work in relation to your budget;

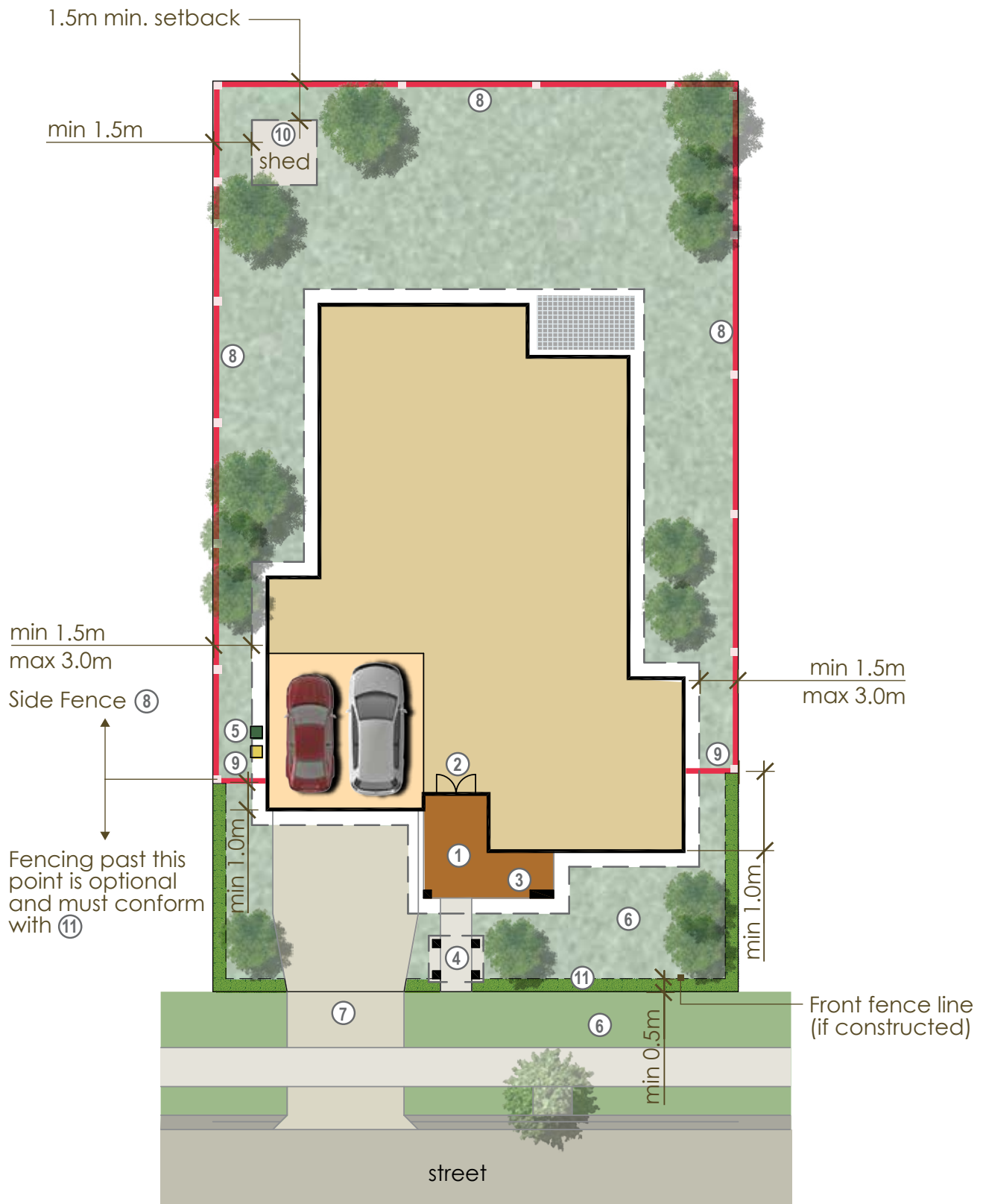
6. **Send through any changes.** Send any changes or amendments you require back to the Landscape Architect (Note: You will only be allowed one set of changes/amendments so please ensure everything is covered);

7. **Architect will finalise plans.** Our Landscape Architect will then finalise your plan and send it to you and your builder by email;

8. **Submit final design on iscope.** Your builder will include the landscaping design in your iscope application to Stockland for covenant approval and will form part of your approval. You must then construct your landscaping in accordance with the approved plan;

9. **Build your dream home!**

Standard Allotment



-  Mandatory garden bed zone to delineate private and public property and to ensure the landscape vision for Horizon is upheld
-  (8) Side and Rear fencing

Corner Allotment

Turf allowed in front of gates to provide access to rear yard



- Retaining wall constructed by Stockland on lots 6, 11, 37, 35, 47, 30, 52, 58, 60, 71, 105
- Pier constructed by Stockland on lots noted above
- - - Fence constructed by Stockland on lots noted above
- * where a retaining wall, pier and fence is not constructed by Stockland, the retaining wall, fence and piers are not compulsory
- ▨ Mandatory garden bed zone to delineate private and public property and to ensure the landscape vision for Horizon is upheld
- - - (8) Side and Rear fencing
- - - (12) Secondary Street fencing

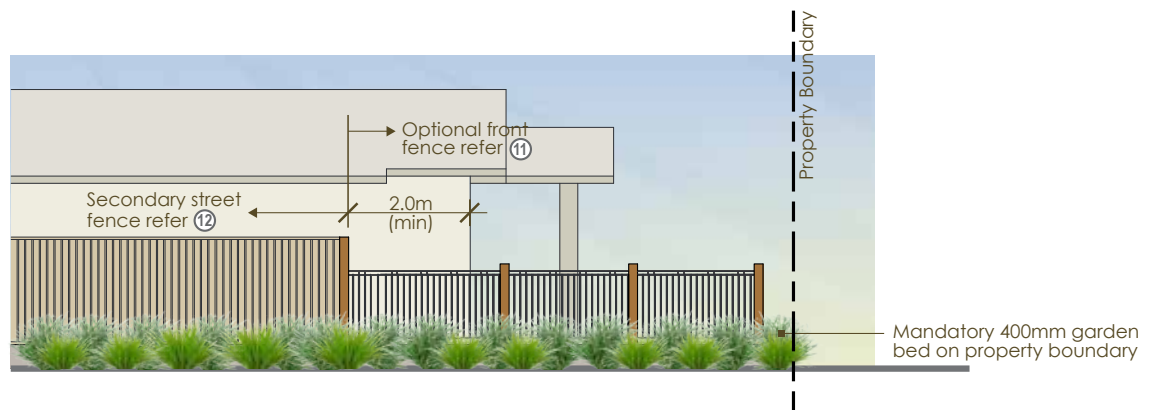
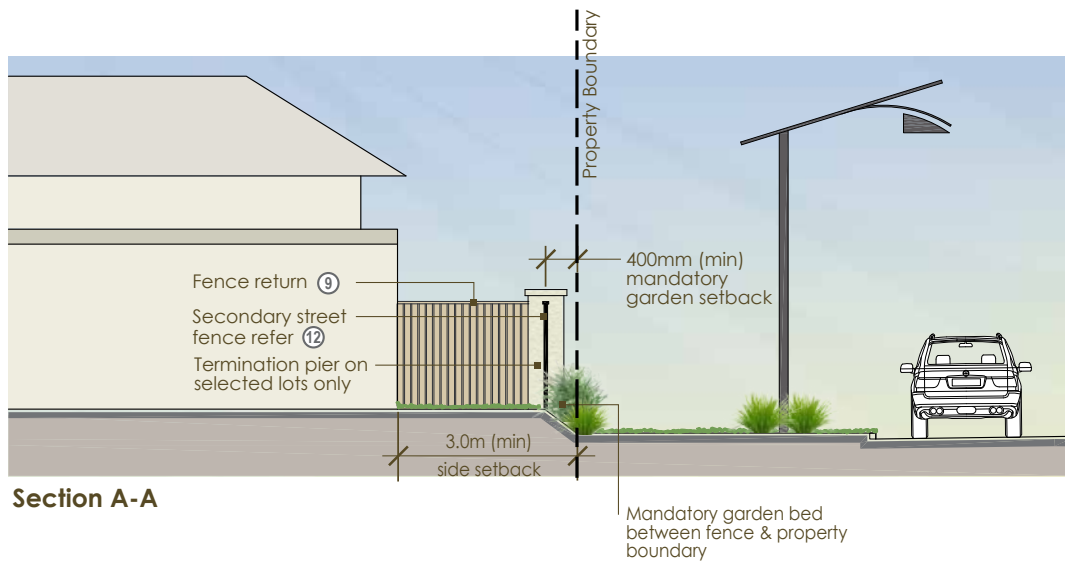
The Design Essentials

Plan Reference	Minimum requirements
1	<p>Covered Entry Patio</p> <p>The home must have a substantial, useable and attractive covered entry as this:</p> <ul style="list-style-type: none"> • encourages use of the front yard; • encourages interaction with the wider community and surveillance of the street; • provides for street appeal. <p>The covered entry must have a minimum ceiling height of 3m and show articulation from the main roof line to ensure the entry provides an entry feature to the home</p>
2	<p>Large entry door</p> <p>The front door must be a feature door a minimum 1.2m wide with highlight above or double doors.</p>
3	<p>Front Façade: Feature, materials, colours and articulation</p> <p>Façade Articulation</p> <p>The front façade must provide articulation and resulting roof line changes, which when combined with front landscaping, delivers an Architecturally interesting street presence.</p> <p>Façade Materials and Colors</p> <ul style="list-style-type: none"> • The front façade walls must incorporate a variety of different materials. • The front façade must incorporate contrasting colour scheme to accentuate and complement the varying material finishes. • Swirl render (scratch coat) is not permitted.
4	<p>Separate Pedestrian Access and Letterbox</p> <p>A decorative footpath must be constructed from the front letterbox to the front patio/portico. The footpath must be: separate from the driveway, be integral with the surrounding landscaping and incorporate the front letterbox.</p> <p>Gatehouses are allowed less than 3 sqm.</p> <p>Individual designed letterboxes are encouraged, and at a minimum must be substantial (a minimum 1m wide) and utilise materials that match the feature material of the façade or materials used within the front yard landscaping.</p> <p>Letterboxes are to be located on the property boundary of the primary frontage and integration into wall/screen/fence structure is encouraged.</p>
5	<p>Bin Enclosure</p> <p>The home must include a hard surfaced bin enclosure screened from public view.</p>

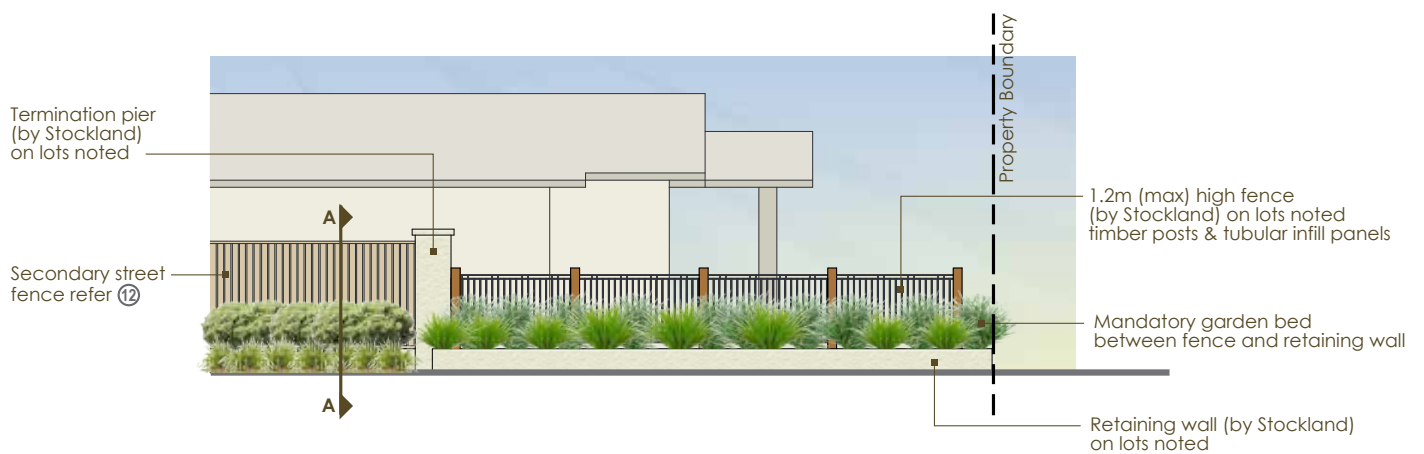
Plan Reference	Minimum requirements
6	<p>Landscaping and Irrigation</p> <p>Refer to the Landscaping section at the front of this document for the Landscaping Vision.</p> <p>Taking cues from a tropical and residential planting theme, the planting character of the Horizon precinct will reference the surrounding natural environment through the use of native plant species.</p> <p>Minimum landscaping requirements are listed below:</p> <ul style="list-style-type: none"> Landscaping to the front of the dwelling must have <ul style="list-style-type: none"> minimum of 10m² garden bed / planting area incorporate a mix of small trees, shrubs and groundcovers incorporate one shade tree of a minimum height of 2m at time of planting (palm trees are not considered a shade tree) Planting areas are to be located adjacent fence lines, driveways, pathways and dwelling. (i.e. no 'islands' of planting in turf areas) There must be some form of Landscaping (not turf) to delineate the public footpath verge area from private property (i.e there must be some form of landscaping along the front property boundary – eg. soft landscaping such as a hedge, garden or hard landscaping such as a fence etc.). The landscaping must include one front yard feature visible from the street in addition to a mature shade tree. Features include: Gatehouse, sculpture, water feature, terraced garden, stone retaining wall. The front landscaping must include a variety of hard finishes (eg, concrete, timber, stone, tiles, pavers etc.). Landscaping must be constructed in accordance with the landscaping plan approved through iscope within 3 months of occupation. <p>Irrigation</p> <p>A fixed automated irrigation system must be installed to landscaping located between the front building line and the kerb line and the side fence and kerb on secondary frontages.</p>
7	<p>Driveways</p> <p>All crossovers and driveways are to be completed in a timely manner and in accordance with Townsville City Council requirements.</p> <p>Driveways must not be constructed from plain concrete. Integration (or blurring the lines) of the driveway and landscape feature is encouraged.</p> <p>If a footpath has been constructed by the developer along the frontage of your property, the driveway must abut, and not cut through, the footpath. The balance of the driveway, between the footpath and kerb, must match the footpath colour.</p>
8	<p>Private Side and Rear Fencing</p> <p>Must be a minimum of 1.8m high, good neighbour fencing (i.e. palings either side of fencing rails spaced a minimum 10mm apart.)</p> <p>Side fence must not protrude beyond the fence return noted in item 9 below.</p>
9	<p>Fence Returns</p> <p>Fence returns to the dwelling must return to the dwelling a minimum 1m behind the front building line.</p> <p>The fence must be painted (on the street side) where it is viewed by the public.</p>
10	<p>Sheds</p> <p>Sheds should be located at the rear of the dwelling screened from public view.</p> <p>Where shed is located beside the dwelling it must be at least 4m behind the fence return and must be screened by the fence return.</p>

Plan Reference	Minimum requirements
11	<p>Front Fencing</p> <p>Front fencing is encouraged but not essential.</p> <p>Fencing constructed forward of the front wall of your home as viewed from the primary street frontage:</p> <ul style="list-style-type: none"> • is to be a maximum of 1.2m in height; • must be constructed of one of the following: <ol style="list-style-type: none"> 1. piers and infill type construction as follows: <ul style="list-style-type: none"> ▪ piers and base (minimum 300mm high base) - rendered and painted masonry or face brickwork; ▪ infills - complimentary materials, coloured metal tube or battens, painted or stained timber battens; 2. Timber construction with feature posts (minimum 150mm x 150mm) and horizontal or vertical timber or aluminium slats (timber slats must be painted). 3. other materials if it can be demonstrated that a contemporary design outcome can be achieved (at Stockland discretion) <ul style="list-style-type: none"> • must extend 1m behind the front building line. • must incorporate a minimum 500mm garden bed in front (i.e. on the street side) of the fence. • must be 40% transparent.
12	<p>Secondary Street Fencing</p> <p>Secondary Street fencing must setback from the side property boundary a minimum 400mm with a mandatory garden bed constructed within the 400mm between the fence and the property boundary in order to partially screen the fence.</p> <p>The garden bed noted above must be planted with an appropriate size and density of plants to achieve 75% coverage within 12 months.</p> <p>The 400mm between the fence and the property boundary must be landscaped with a garden bed to partially screen the fence.</p> <p>The fence must return to the house a minimum 2m behind the front façade.</p> <p>The fence must be an attractive fence, constructed, at a minimum, of the following:</p> <ul style="list-style-type: none"> • 1.8m high timber paling fence; • must have a top capping rail; • must have feature posts, minimum 100mm x100mm; • must be painted a colour that compliments the house colour and forms part of the overall colour scheme of the house. <p>Side Fencing adjacent Public Park</p> <p>Where the side boundary of an allotment adjoins public park. The fence must be constructed to the same requirements as a secondary street fence.</p>

Fencing



Corner fence elevation where Stockland do not construct the retaining wall and front fence



Corner fence elevation where Stockland constructs the retaining wall and front fence

Other Essentials

Building Setbacks

- Building setbacks must comply with the approved Townsville City Council Building Envelope and Driveway Access Plan for your lot.
- The Building Envelope is included in your contract of sale or can be obtained from iscope by your Builder.

Building Orientation

- To best capture prevailing breezes and for optimum solar orientation the majority of the living areas must be constructed along the northern or eastern side of the dwelling or a combination of both.

Note: The approved Townsville City Council Building Envelope and Driveway Access Plan for your lot provides advice on the construction of a climatically responsive dwelling.

Eaves

- A minimum 600mm eave is required.

Garages/Carports

- Freestanding or attached garages must:
 - include a roof design & design features which are consistent with the form and materials of the home.
 - be set back a minimum of 800mm behind the front building line on both the primary and secondary boundaries.
 - be built of materials (incl. roof) which are consistent with the materials of the home.
 - Open carports are not acceptable
 - Triple garages are only permitted when the third garage door is further recessed a minimum 800mm from the front alignment of the double garage. The Garage cannot make up more than 50% of frontage.

Note: Townsville City Council have approved the Driveway Access and Building Envelope Plan which identifies preferred garage and driveway crossover location for your lot. Should you wish to vary this location, Stockland recommend you contact Townsville City Council.

Non-Ground Mounted Plant or Equipment

- Roof mounted items visible from the street or public spaces must be minimal including but not limited to satellite dishes and TV aerials where necessary.
- Solar panels and collectors for hot water units are the exception to this standard when orientated to maximise their effectiveness.

Construction Obligations

- Provide a covered industrial bin on site for the duration of the construction period (temporary bin enclosures are not permitted)
- Site cleanliness is to be maintained at all times.
- No excavated material shall be placed on any adjoining lot or public area.
- Utilise a single point of entry, and ensure appropriate soil and sediment control measures are implemented.
- All legislative requirements with respect to OHS and Environmental Protection must be complied with at all times.

Street Tree Obligations

- Each lot is provided with one (or more) street trees. Street trees are an important part of the urban design of North Shore. It is the owners obligation to ensure that the street trees:
 - are protected during the construction period;
 - are not damaged during construction;
 - are kept as part of the front landscaping of the dwelling.
- Discuss with your builder the protection of your street trees;
- Should a street tree be removed or damaged during construction the tree must be replaced by the owner (a replacement tree can be ordered through Stockland for a fee of \$500).

Developer Works

- Where the Developer has constructed a fence, entry statement or retaining wall, it is to be maintained by the Owner to the standard to which it was constructed.

Retaining Walls

- Feature & retaining walls are to compliment the contemporary character of Horizon.
- Material selection should also reflect the dwelling character and architecture.
- Suitable materials may include sandstone boulders / blocks, treated hardwood, stone faced blockwork walls or painted, rendered blockwork.
- Screening planting to be installed to front of all walls to soften their appearance.
- Where a developer built retaining wall exists on your lot, any further feature or retaining walls must match the existing design and materials.
- Wall height and massing respects pedestrian scale and is appropriate to the dwelling.
- Wall to interface appropriately with fences and property boundaries.
- Retaining walls are to be a maximum height of 1m., unless designed by an engineer and council approved.
- Retaining walls may be tiered and separated by planting where necessary.
- All landscape walls, retaining structures and planting to be contained within property boundaries.
- Where fencing is positioned on top of the retaining wall. a minimum step of 300mm is required for planting to the street frontage.
- Walls can be used in short lengths to create highlights and as features within front yards; however their location and design should not compromise the openness or permeability of the streetscape.

Note: please discuss proposed retaining walls with your adjoining neighbour prior to construction to ensure that the height of the retaining is appropriate to suit the finished ground levels on adjacent blocks.

Ground Mounted Plant or Equipment

- All ground mounted services are to be screened where visible from any street or public space. This includes but is not limited to: heating and cooling units, rubbish disposal containers, swimming pools & equipment, rain water tanks, clothes hoists and washing lines.
- Air Conditioners must be located below the eave line and screened from public view.

National Broadband Network (NBN)

- This stage of North Shore will be supplied with NBN network;
- In-house wiring must comply with the requirements of NBN Co`s in-home-wiring guide (available from www.nbnco.com.au/NewDevelopments) including Home Distributor, Conduiting, Category 6 wiring and power supply.

Glossary of Terms

Commons Brick	Brick made for general building purposes and not specially treated for colour and texture. These bricks are often larger in height to a face brick.
Building and Other Legislation Amendment Act 2009 (Act)	These Design Essentials are to be read and applied subject to the requirements of the Building and Other Legislation Amendment Act 2009 (Act). If any term, requirement or condition in these Design Essentials (or any part of them) is invalid or unenforceable for any reason (including as a result of the application of the Act) the remaining terms, requirements and conditions will continue to apply and will be valid and enforceable to the fullest extent permitted by law.
Front Building Line	The line of the front wall of the house.
Façade Area	Façade Area is calculated as a square meter measure of the entire vertical surface of the elevation of the house visible from the Street or Public Area.
Glazing	Any fixed or opening panel made from glass.
Eave Line	The edge of the roof or parapet.
Setback	The distance measured from adjacent boundary of the lot to the wall or outermost projection of the home as per Council's requirements.

Legals

1. The Design Essentials are legally binding and form part of your Land Sales Contract.
2. The resale of vacant land is restricted and re-subdivision of your lot is not permitted.
3. The design of your home must comply with the Design Essentials;
4. No temporary or relocatable buildings or structures may be erected or located on a lot unless for use in connection with the building of the home.
5. Interpretation of the Design Essentials remains the right of Stockland.
6. Diversity and innovation in the design of your home is encouraged. Stockland promotes the use of alternative architectural styles and building materials.
7. Stockland reserves the right to approve Building Works which do not comply with the Design Essentials if it is considered to be of outstanding merit.
8. The Design Essentials apply in addition to and not in lieu of other statutory requirements. Please note, you will require approval to build your home from Council or a registered building certifier in addition to any approval given by Stockland.
9. The high standard of presentation of North Shore is a priority to you and your neighbours

Purchaser Agreement

I acknowledge the Vision for Horizon outlined in this document and I have read through the Design Essentials and understand my obligations to comply with the requirements noted in this document when constructing my home within the Horizon Village.

Signed

Name

Date

RESIDENTIAL DESIGN APPLICATION FORM

- ☐ Your application must include with this application form, each of the following:
- ☐ Site Plan (min. scale 1:200) indicating North point, contour levels, finished floor levels, setbacks from all boundaries, total floor area and any proposed earthworks or retaining walls where applicable.
- ☐ Floor Plans (min. scale 1:100) showing key dimensions and window positions.
- ☐ Elevations (min. scale 1:100) indicating building heights, roof pitches, eave depths and all external plant and equipment (e.g. air conditioners.)
- ☐ External Works Plan showing driveway details (including location, extent, material and finish) and fence heights, locations and finishes clearly marked.
- ☐ Landscape Plan showing locations of plants and shade trees, garden beds, material finishes, area to be irrigated.

Note:

Applications will generally be assessed and responded to within 10 business days from day of receipt at Stockland. A written response will be sent to the preferred party identified below (Applicant or Builder.) Applications will not be assessed until all information as noted above has been supplied to Stockland. The preferred method for the lodgment of applications is by email to the following address: north.shore@stockland.com.au

Please note that applications submitted via facsimile WILL NOT BE ACCEPTED.

Lot Number: Street:

Preferred Contact: ☐ Applicant ☐ Builder Estimated Build Cost:

APPLICANT'S DETAILS

Name(s):

Email:

Phone:

BUILDER'S DETAILS

Name:

Contact Person: Phone:

Email: