



*RiverStone*  
CROSSING

# Built Form Code

Addendum To The Design Essentials

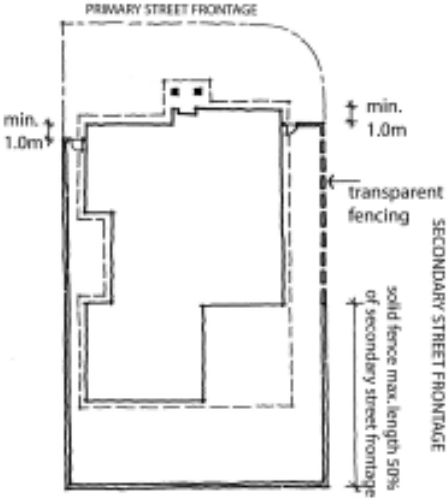
April 2012

# BUILT FORM CODE

This Built Form Code is a component of the Riverstone Crossing Design Essentials document.

<b>Glazing to the street</b>	<ul style="list-style-type: none"> <li>The façade area (excluding the garage door) facing a street or public area is to include sufficient glazing (10% recommended) to allow for passive surveillance of the property.</li> </ul>
<b>Front Façade Articulation</b>	<ul style="list-style-type: none"> <li>Walls may be up to 7.5m long before a change in setback and eave line of at least 450mm is required.</li> <li>The primary entry is to incorporate a covered roof area. It is recommended that the entry roof be at least 4m<sup>2</sup> with a minimum depth of 1.5m.</li> </ul>
<b>Secondary Street Façade Articulation</b>	<ul style="list-style-type: none"> <li>Walls may be up to 7.5m long before a change in setback of at least 450mm and a feature element is required.</li> </ul>
<b>Garages</b>	<ul style="list-style-type: none"> <li>Are to be setback at least 500mm behind the front building line.</li> </ul>
<b>Carports</b>	<ul style="list-style-type: none"> <li>Freestanding or attached carports and garages must include a roof design &amp; design features which are consistent with the form and materials of the home.</li> <li>Carports/carport materials (incl. roof) must also be consistent with the materials of the home.</li> <li>Parking areas and hardstand materials are to be designed such that they integrate with the landscape concept for the front yard.</li> </ul>
<b>External Wall Finishes</b>	<ul style="list-style-type: none"> <li>Homes are to be constructed to reflect contemporary Queensland Architecture and have regard to the climatic conditions of the area and the estate's unique location.</li> <li>Unfinished 'commons' bricks are not permitted.</li> <li>A minimum of 2 materials and colours are to be used to the front and secondary street façades. No one material or colour can be more than 80% of a façade area.</li> <li>Contemporary Designer Brick (using off white mortar) is limited to 50% of each external wall area (excluding Windows, doors and Garage door). A sample of the proposed brick is to be submitted for assessment prior to approval.</li> <li>Fibre cement sheeting is limited to a maximum of 30% of the façade area where finished with a paint only.</li> </ul> <p>Consent of the Riverstone Crossing Design Panel is required if these recommendations will not be met.</p>
<b>Building Colours</b>	<ul style="list-style-type: none"> <li>Colours for all buildings are to reflect the colours of the Riverstone Crossing landscape. The Riverstone Crossing Design Panel promotes the use of non-reflective, natural earthy or green colours.</li> </ul>

<b>Roof Form</b>	<ul style="list-style-type: none"> <li>Roofing must be of a scale and form representative of contemporary Queensland Architecture.</li> <li>30 degrees is the maximum pitch for any roof.</li> <li>15 degrees is the maximum pitch for the main skillion roof.</li> </ul>
<b>Roof Finishes</b>	<ul style="list-style-type: none"> <li>Roofing materials are limited to corrugated pre-finished metal sheets (e.g. Colourbond).</li> </ul>
<b>Eaves</b>	<ul style="list-style-type: none"> <li>A minimum 450mm eave is required to 70% of all façades visible from the street and public areas.</li> </ul>
<b>Non-Ground Mounted Plant or Equipment</b>	<ul style="list-style-type: none"> <li>Roof mounted items visible from the street or public spaces must be minimal including but not limited to: satellite dishes, TV aerials, external hot water services, water tanks, air conditioning units, heating units, photovoltaic cells (i.e. solar panels), spa and pool pumps, dependent person units etc.</li> <li>Solar panels and collectors for hot water units are the exception to this standard when orientated to maximise their effectiveness.</li> </ul>
<b>Driveways</b>	<ul style="list-style-type: none"> <li>All crossovers and driveways are to be completed prior to occupation.</li> <li>Driveways to have a minimum 0.5m landscaping to the side property boundary.</li> <li>Driveways must not be constructed from asphalt, plain concrete, applied stencilled, stippled, or stamped finishes.</li> </ul>
<b>Landscaping</b>	<ul style="list-style-type: none"> <li>Lay turf between the front building line and kerb-line prior to occupation to minimise sediment erosion.</li> <li>A minimum of 30% of the front garden is to be planted garden beds please refer to the Riverstone Crossing Recommended Planting list to assist with plant selection.</li> </ul>
<b>Construction Obligations</b>	<ul style="list-style-type: none"> <li>Provide a bin or enclosure on site for the duration of the construction period.</li> <li>Site cleanliness is to be maintained.</li> </ul>
<b>Fencing to Front &amp; Secondary Streets</b>	<p>The Riverstone Crossing Design Panel does not allow the use of any front fencing forward of the building line. Front fencing may only be permitted on North facing lots with private open space located to the front of the home.</p> <p>In these instances, all fencing as viewed from the street or public space:</p> <ul style="list-style-type: none"> <li>Be a maximum of 1.8m in height, including retaining where required.</li> <li>Where changes in ground levels necessitate Retaining Walls to support fencing, they may be permitted to a height of up to 800mm.</li> <li>Where a front fence is permitted, it must have a minimum of 50% transparency</li> <li>Front fencing is to be constructed of rendered and painted masonry piers (with a minimum 300mm base), and include infill panels of coloured metal tube or metal battens, painted or treated timber battens.</li> <li>Landscaping and fence design should be considered in providing privacy to private outdoor space whilst protecting and enhancing the streetscape of the locality.</li> <li>Must not include any coloured pre-finished metal sheets or unfinished</li> </ul>

	<p>materials including unfinished commons bricks.</p> <ul style="list-style-type: none"> <li>• Where no front fence is used, the secondary street fence must return to the house a minimum of 1m behind the front building line.</li> <li>• Solid secondary street fencing is not to extend greater than 50% of the length of the secondary street (Refer to diagram below). The remainder is to be 50% transparent.</li> <li>• Standard paling and Good Neighbour type fencing will not be accepted on secondary street frontages.</li> <li>• Secondary street transparent fencing is to be constructed of: Open style coloured metal tube fencing complemented by hardwood timber posts (minimum 125mm x 125mm size posts)</li> </ul>  <p>Other types of transparent fencing may be considered on its merits by the Riverstone Crossing Design Panel at its discretion.</p>
<p><b>Fencing to Side &amp; Rear Boundaries</b></p>	<p>Fencing is to be 'Good Neighbour' fencing, this ensures that no residence views 'back-of-fence'. Typical 'Good Neighbour' fences consist of treated timber palings either side with a continuous top timber cap and are a maximum height of 1.8 metres.</p> <ul style="list-style-type: none"> <li>• Must not include any coloured pre-finished metal sheets or unfinished materials including unfinished commons bricks.</li> <li>• The side fence must return to the house a minimum of 1m behind the front building line, where no front fence is used.</li> <li>• Where the side boundary forms the rear boundary of an adjoining lot, the side fence may continue to the front of the lot.</li> </ul> <p>Please discuss your proposed fencing with the adjoining owner prior to construction and refer to the relevant 'Neighbourhood Disputes Resolution Act 2011' and guidelines in your State and Local Government Area.</p>
<p><b>Developer Works</b></p>	<ul style="list-style-type: none"> <li>• Where the developer has constructed a fence, entry statement or retaining wall, it is to be maintained by the owner to the standard to which it was constructed.</li> </ul>

<p><b>Retaining Walls</b></p>	<p>Please discuss proposed retaining walls with your adjoining neighbour prior to construction to ensure that the height of the retaining is appropriate to suit the finished ground levels on adjacent blocks.</p> <ul style="list-style-type: none"> <li>• Retaining walls visible from the street or public area are to be constructed from: stone or masonry; or timber sleepers (where less than 300mm in height).</li> <li>• Earthworks and retaining walls are to be limited to a maximum height of 1.2m.</li> <li>• Retaining Walls and embankments are to be terraced where possible and suitably landscaped</li> <li>• Retaining Walls are to be located so as not to impact upon adjoining properties.</li> <li>• The consent from the adjoining property owner should be obtained where walls are closer than 600mm from the boundary.</li> <li>• Full details of heights, materials and location of all retaining walls and embankments are to be submitted for approval</li> <li>• Appropriate approvals are to be obtained where required from the Local Council or regulatory body.</li> </ul>
<p><b>Outbuildings</b></p>	<ul style="list-style-type: none"> <li>• Any outbuilding or garden shed must not be attached to the home.</li> <li>• All outbuilding and garden sheds must be constructed behind the front or secondary street building line unless it can be shown that they are not visible (or can be adequately screened) from the adjacent street or public area.</li> <li>• Unfinished metal shed of any size are not permitted</li> <li>• Sheds greater than 9m<sup>2</sup> are considered as an extension of the main dwelling and must therefore satisfy the building setbacks and external material finish requirements as per the main dwelling.</li> </ul>
<p><b>Ground Mounted Plant or Equipment</b></p>	<p>All ground mounted services are to be screened where visible from any street or public space. This includes but is not limited to:</p> <ul style="list-style-type: none"> <li>• heating and cooling units, rubbish disposal containers, swimming pools &amp; equipment, rain water tanks, clothes hoists and washing lines.</li> </ul>

## GLOSSARY OF TERMS

<b>'Commons' Brick</b>	<ul style="list-style-type: none"> <li>• Brick made for general building purposes and not specially treated for colour and texture.</li> </ul>
<b>Face Brick</b>	<ul style="list-style-type: none"> <li>• Brick made especially for exterior use with special consideration of colour, texture and size, and used as a facing on a building.</li> </ul>
<b>Front Building Line</b>	<ul style="list-style-type: none"> <li>• The line of the front wall of the house.</li> </ul>
<b>Façade Area</b>	<ul style="list-style-type: none"> <li>• Façade Area is calculated as a square meter measure of the entire vertical surface of the elevation of the house visible from the Street or Public Area.</li> </ul>
<b>Glazing</b>	<ul style="list-style-type: none"> <li>• Any fixed or opening panel made from glass.</li> </ul>
<b>Eave Line</b>	<ul style="list-style-type: none"> <li>• The edge of the roof or parapet.</li> </ul>
<b>Setback</b>	<ul style="list-style-type: none"> <li>• The distance measured from adjacent boundary of the lot to the wall or outermost projection of the home in accordance with Council's requirements.</li> </ul>
<b>Feature Element</b>  <b>Building and Other Legislation Amendment Act 2009 (Act)</b>	<ul style="list-style-type: none"> <li>• May include attached materials or free standing structure that is complementary to the form and materials of the house including but not limited to: window hoods / external shades, decorative surface treatments, screens and battening.</li> <li>• The Design Essentials are to be read and applied subject to the requirements of the Building and Other Legislation Amendment Act 2009 (Act). If any term, requirement or condition in these Design Essentials (or any part of them) is invalid or unenforceable for any reason (including as a result of the application of the Act) the remaining terms, requirements and conditions will continue to apply and will be valid and enforceable to the fullest extent permitted by law.</li> </ul>