

# *Sovereign Pocket Design Essentials*

May 2017



The background is a vibrant green with a complex, abstract pattern. It features overlapping geometric shapes, primarily triangles and polygons, in various shades of green. Superimposed on these are several sets of thin, white, dotted lines that form sweeping, curved paths across the composition, creating a sense of movement and depth.

# *The Design Essentials*

# Introduction

## The Vision for Sovereign Pocket

Sovereign Pocket at Deebling Heights is conveniently close to shopping, schools, health services and employment opportunities. Minutes from the Yamanto shopping centre, and a short drive to the Orion Springfield Central shopping centre, it is only 6 kilometres to the Ipswich CBD.

The community has beautiful natural surrounds with open space featuring a shared bbq area, adventure playground and exercise path. Building your dream home at Sovereign Pocket is easy. Whether you're at the beginning of the building and buying journey, or wanting to upgrade or downsize, Sovereign Pocket is the place you'll be proud to call home.

## Approval Process

Stockland has prepared these Design Essentials to guide house design at Sovereign Pocket, and should be read in conjunction with the Ipswich Planning Scheme which applies for this development site, along with any other statutory requirements.

To ensure a smooth design review process, please arrange for your builder/architect to prepare a Home Design Package for endorsement by Stockland. Your Home Design Package must include a Site Plan (1:200), Floor Plan, Elevation Plans, Landscaping Plan, Fencing Plan and External Colour Selections

**The key steps in the Approval Process are outlined as follows:**

Builder/Architect/Owner reviews the local planning requirements, Sovereign Pocket Design Essentials and Land Contract of Sale.



Builder/Architect/Owner submits the building plans to the Stockland builder portal for design approval: [builderportal.stockland.com.au](http://builderportal.stockland.com.au) which also contains relevant project information. Any queries should be directed to QLD Design: Phone: 07 3305 8600 Email: [design@stockland.com.au](mailto:design@stockland.com.au)



Builder/Architect/Owner obtains building approval from an accredited building certifier and proceeds to construction.

## Further Information

Visit our website [stockland.com.au/residential/buying-and-building/build-new](http://stockland.com.au/residential/buying-and-building/build-new) to view the Building Journey handy tips and how-to videos.

Handy fact sheets about building a new home are available online at [www.yourhome.gov.au](http://www.yourhome.gov.au), which is a joint initiative of the Australian Government and the design and construction industries.

For information about planning and development, you can find important information at Council's offices or on their website at [www.ipswich.qld.gov.au](http://www.ipswich.qld.gov.au)

# Presenting your home to the street

## Setbacks and siting

The minimum boundary setbacks and zero lot boundaries must be as per shown on the Building Envelope Plan as provided by Stockland within your Land Contract of Sale.

## Front façade

- Walls facing the front boundary (primary street) may be up to 7500mm long before a change in setback and eave line of at least 450mm is required.
- The front façade (primary entry) is to incorporate a covered roof area and be at least 1.5m<sup>2</sup>.

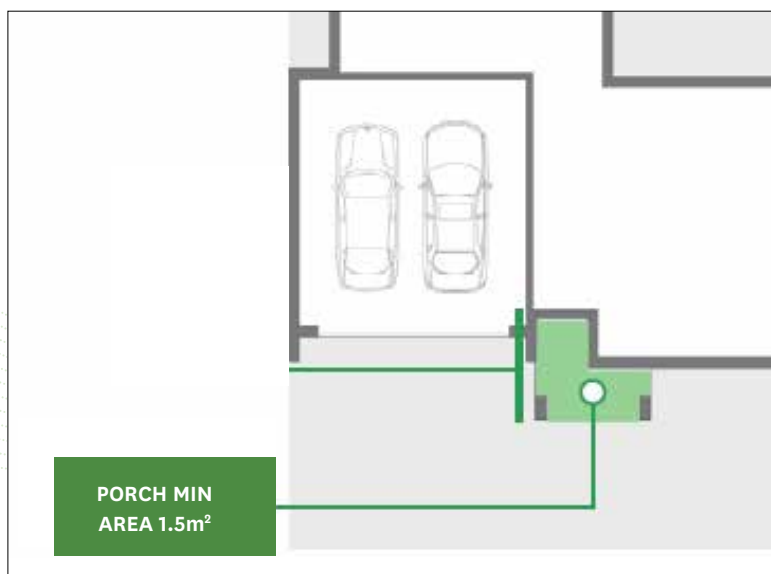


## Secondary façade features

- Walls facing the secondary street boundary (secondary street) may be up to 7500mm long before a change in setback and eave line of 450mm or more is required, or a feature element is required.

## Visibility

The front façade area (excluding the garage door) facing a street or public area is to include sufficient glazing (minimum 10%) to allow for passive surveillance of the property.



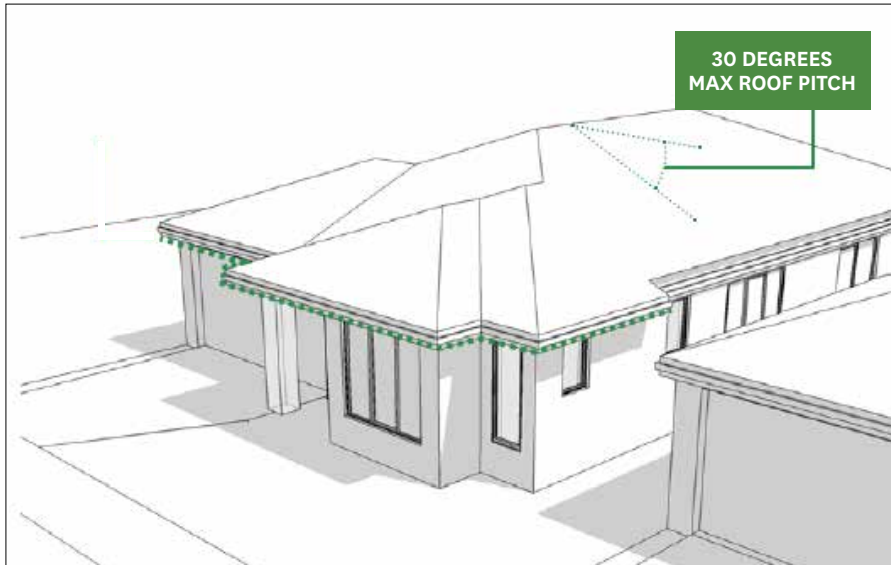


# Roof

## Roof pitch

Roofing must be of a scale and form representative of contemporary Queensland architecture.

- Hip and gable roofs must have a maximum pitch of 30 degrees.
- Skillion roofs must have a maximum pitch of 15 degrees.



## Building materials

Homes are to be constructed to reflect contemporary Queensland architecture and have regard to the climatic conditions of the area and the estate's unique location.

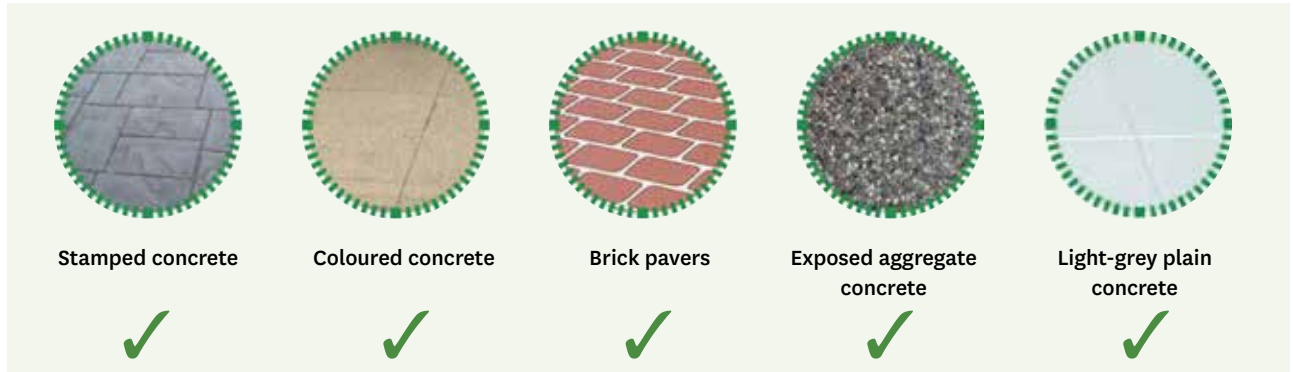
- Acceptable exterior wall materials for the front and secondary façades include (but are not limited to) face brick, render, cladding, bag and paint, feature tiles, feature stone, stack stone.
- Unfinished 'commons' bricks are not permitted.

## Garage and carport

- Garage and carport design, materials and colours (including roof) must be consistent with the design, materials and colours of the home.
- Where the lot frontage is less than 15m wide, the garage and carport is:
  - Setback a minimum of 6m behind the front boundary.
  - Have an opening that does not exceed 6m or 50% of the building frontage, whichever is the lesser.
  - For two storey dwellings; is recessed beneath the upper storey by at least 1m.
- Where the lot frontage is 15m wide or more, the garage and carport is:
  - Located behind the front building line.
  - Have an opening that does not exceed 6m or 50% of the building frontage, whichever is the lesser.
  - Recessed beneath the upper storey by at least 1m, for a two storey home.
- Where rear access is available, garage and parking area is located at the rear of the property in accordance with the detailed area plan, ensuring no crossover to the primary street.

## Driveway and crossover

- Driveway is to be offset at least 500mm from the nearest side boundary to allow for turf.
- A planted garden bed with a small tree, shrubs, groundcover, mulch and edging is encouraged alongside the driveway, but optional.
- All crossovers and driveways are to be completed prior to occupation.



## Landscaping

- Turf is to be provided to the front yard between the front building line and kerb line.
- Planted garden beds with trees, shrubs, groundcover, mulch and edging are encouraged but optional.
- Turf must be laid in timely manner to minimise top soil erosion or run off.

## Fencing

### Front fencing

Fencing facing the front (primary) street and forward of the main building line of the home:

- Is to be a maximum height of 1.5m and may extend to 1.8m in height when 50% transparent above 1.5m in height.
- Extend to the side street (or secondary street) boundary fence.
- Must not include any coloured pre-finished metal sheets (e.g. Colorbond) or unfinished materials (e.g. unfinished commons bricks).



Front fence 50% transparent



Front fencing complements style and colour scheme of home

# Fencing continued

## Side and rear fencing

Fencing constructed along the side and/or rear boundaries:

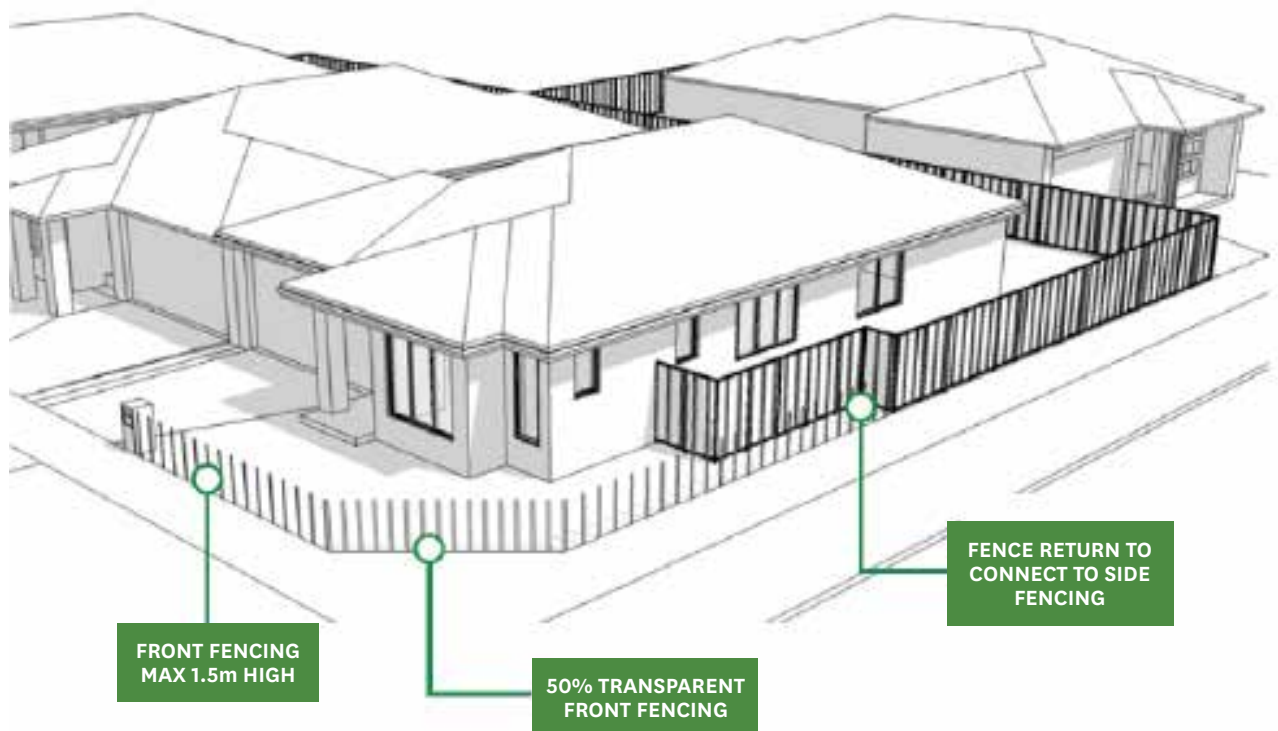
- Is to be a maximum height of 1.8m.
- Must not include any coloured pre-finished metal sheets (e.g. Colorbond) or unfinished materials (e.g. unfinished commons bricks).
- Where no front fence is constructed, the side fence must return to the house a minimum of 1m behind the front building line.
- Where the side boundary forms the rear boundary of an adjoining lot, the side fence may continue to the front of the lot.
- Where the lot is accessed from a rear lane, fencing to the primary street or park frontage (including secondary frontage for corner lots):
  - Must not exceed 1.2m if at least 50% transparent, or
  - 900mm if solid or less than 50% transparent, and
  - Contain openings for pedestrian access only.

Please discuss proposed fencing with your adjoining neighbours prior to construction and refer to the relevant Neighbourhood Disputes (Dividing Fences and Trees) Act 2011 legislation and guidelines in your state and local government area.

## Side fencing on corner lot (facing secondary street)

Where fencing has not been provided by Stockland to the secondary street boundary, fencing is to be (as viewed from the street or public space):

- A maximum height of 1.5m and may extend to 1.8m in height when 50% transparent above 1.5m in height.
- Extend to the side street (or secondary street) boundary fence.
- Return to the house a minimum of 1m behind the front building line.
- Must not include any coloured pre-finished metal sheets or unfinished materials including unfinished commons bricks.



# Retaining walls

## Retaining walls

Retaining walls visible from the street or public space are:

- Maximum height 1.8m before the use of a 500mm wide landscape terrace.
- Not constructed from unfinished masonry blocks or commons bricks.

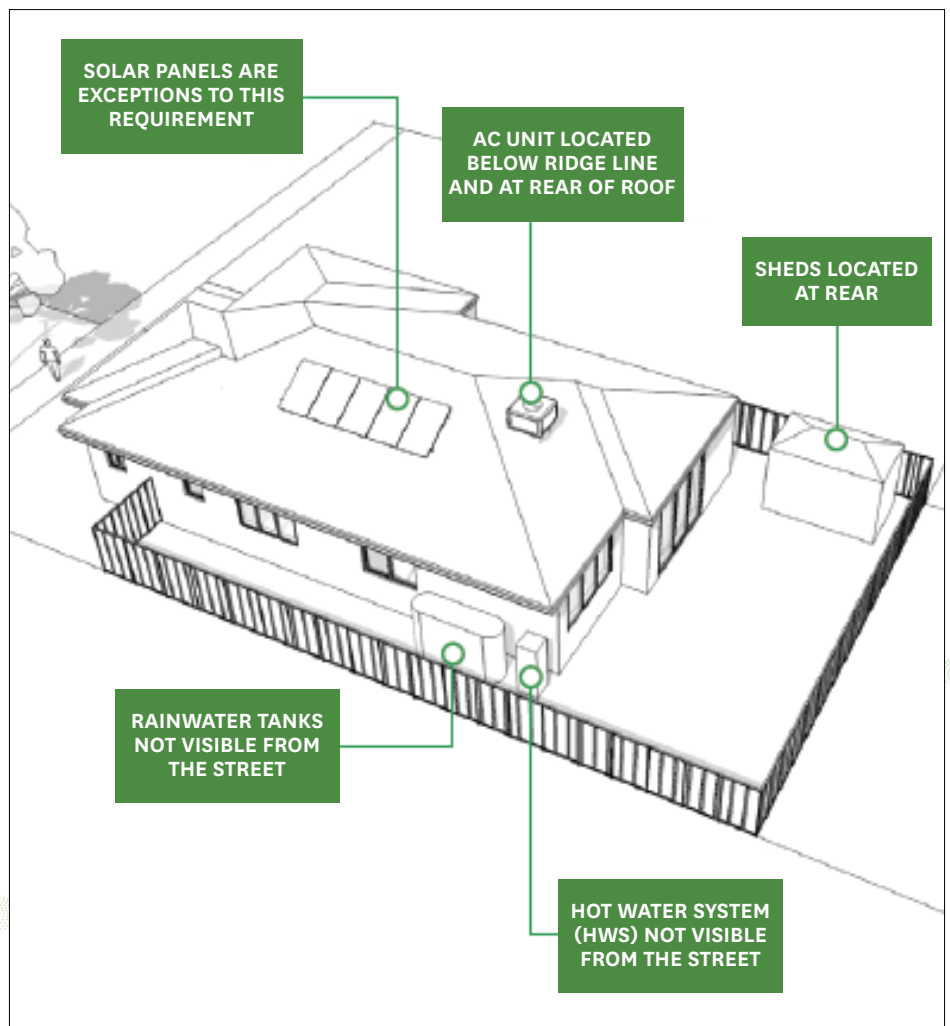
Please discuss proposed retaining walls with your adjoining neighbours prior to construction to ensure that the height of each retaining wall is appropriate to suit the finished ground levels on each adjacent block.

# Exteriors

## Screening

- All ground mounted equipment must be screened from public view and must not be visible from any street or public space. This includes, but is not limited to, heating and cooling units, rubbish disposal containers, swimming pools and equipment, rainwater tanks, clothes hoists and washing lines.
- Non-ground mounted equipment items visible from the street or public spaces must be minimal including, but not limited to, satellite dishes, TV aerials, external hot water services, water tanks, air conditioning units, heating units, spa and pool pumps, dependent person units etc.

Solar panels and collectors for hot water units are the exception to this standard when orientated to maximize their effectiveness.





## Outbuildings

Any outbuildings or garden sheds should be carefully designed and:

- Constructed in an approved finish to complement the house.
- Constructed behind the front (and secondary) building line, unless it can be shown that it is adequately screened and not visible from the street or public spaces.

## Construction obligations

- Provide a bin or enclosure on site for the duration of the construction period.
- Site cleanliness is to be maintained.
- Where the developer has constructed a fence, entry statement or retaining wall, it is to be maintained by the owner to the standard to which it was constructed.

## Design variation

Where designs are proposed that may vary from these Design Essentials, they will be assessed on their design merit by Stockland's Design & Project Team.

Variations will only be considered where it can be demonstrated that they still achieve the desired objectives for the creation of an aspirational community at Sovereign Pocket.



All details, images, and statements are based on the intention of, and information available to, Stockland as at the date of publication May 2017 and may change due to future circumstances. All images and photographs are conceptual and indicative only. An approval issued by Stockland under these Design Essentials is not an approval or certification from the local Council, from an accredited certification authority or under the requirements of any legislation. Any building plans submitted to Stockland are not checked by Stockland for compliance with structural, health or planning requirements, or for the suitability of the building for your intended use. Stockland reserves the right to approve designs and works which do not comply with these Design Essentials where considered to be of merit, and to vary, relax or waive any of the requirements in this document, at its absolute discretion. If Stockland exercises any of these rights, this will not set a precedent or imply that the same or similar approval will be repeated by Stockland in the future.

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