

Forest Reach

Design Essentials



Stockland



Forest Reach

Contact us
design@stockland.com.au

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THE COMMUNITY VISION

The vision for Forest Reach

Surrounded by breathtaking views of the Illawarra region and escarpment, this future community celebrates the exceptional landscape and heritage of the region. Stockland is presented with a unique opportunity to deliver a high-quality masterplanned community. It will provide a wide range of first-rate public and private facilities and market-leading housing choices in a variety of landscape settings.

The Design Essentials outlined in this document allow the implementation of key design principles to deliver a strong sense of place and community.

This community will offer an incomparable range of lifestyle choices, providing an outstanding place set in a signature landscape with memorable landmarks where people will love to live. A place that people will be proud to call home.



FOREST REACH MASTERPLAN



Private Conservation Forest

Proposed Residential

Proposed Local Park

Proposed Over 55s Living

Infrastructure Easement

Proposed Medium Density

Proposed Medium Density

Proposed Stormwater Catchment Area

Proposed Town Centre by Others

Future Road

Proposed Riparian Corridor

Future Local Park

Future Stormwater Catchment Area

Proposed Residential by Others

Proposed Residential by Others

Proposed Residential by Others

Proposed Residential

Cleveland Road

Bong Bong Road

Bong Bong Road

Stockland Brooks Reach

Sales and Information Centre

Education and Childcare

- Little People's Early Learning Centre - 1.8km
- Dapto Public School - 4km
- Dapto High School - 4.4km

Shopping and Dining

- Dapto Mall - 5.8km
- Warrawong Plaza - 17km
- Stockland Shellharbour Shopping Centre - 18.7km

Parks and Open Space

- Emu Park, Brooks Reach - 1.3km
- Gerringly Park - 3.2km
- Reed Park Dog Park - 3.7km

Medical Centres

- Wollongong Hospital - 19km
- Shellharbour Hospital - 19.3km

Leisure

- Lake Illawarra - 12km
- Port Kembla Beach - 21km
- Wollongong Beach - 22km

Public Transport & Access

- Dapto Train Station - 4km
- Princes Highway - 6km
- Unanderra Train Station - 12.5km

Bike Path

Legend

- Future Residential
- Proposed Residential
- Proposed Medium Density
- Future Local Park
- Proposed Local Park

Masterplan supplied for the purpose of providing an impression of Stockland Forest Reach as at February 2022 and the approximate location of existing and proposed third party infrastructure, facilities, amenities, services and destinations, and is not intended to be used for any other purpose. Indications of use, location, distance or size are approximate and for indicative purposes only. Subject to change and authority approval. Not to scale.

GUIDING YOUR HOME DESIGN

Stockland's commitment & objectives

Stockland's commitment to you is to encourage and showcase quality Urban Design throughout Forest Reach. Stockland's objective is to create a pleasant living environment that is centred around a strong sense of community and provides a variety of housing solutions to suit a diverse range of lifestyles. Designing your ideal home is one of the biggest advantages of building new and our Design Essentials are put together with you in mind and to assist you in getting the most out of your investment and lifestyle.

It is important that the design of your home is in keeping with the Design Essentials outlined in this document. They have been created to:

- Encourage visually appealing and cohesive streetscapes that protect your investment.
- Promote environmentally responsive development.
- Help you get the best out of your home site.
- Outline the process to get your home approved.
- Assure you that everyone will contribute to achieving a strong neighbourhood character and standard of housing.
- Promote a contemporary approach to design that responds to the local climate and context, and 'The Community Vision'.



DESIGN APPROVAL

Approval process

Stockland has prepared these Design Essentials to guide house design for its communities.

The Design Essentials should be read in conjunction with the NSW Housing Code and Councils requirements.

Complying development certificate (CDC)

You may be able to seek a Complying Development Certificate (CDC) for your proposed home. You should talk to your builder/designer about this option, which may save you time and money.

Development application (DA)

Alternatively, you may wish to seek guidance from the relevant Council authority bodies and submit a development application to Council.

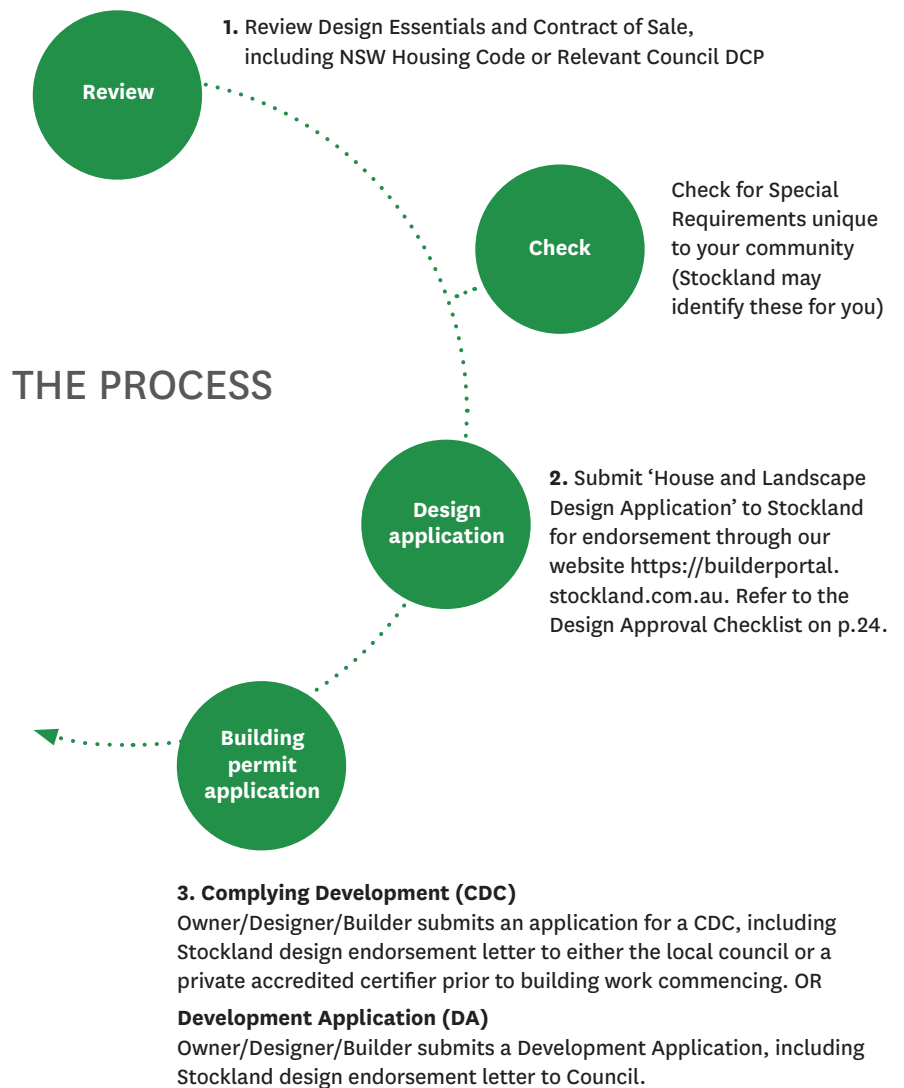
To ensure a smooth design review process, please pass this document on to your designer/builder so that a 'Home Design Package' can be prepared for endorsement by Stockland, prior to a CDC or Authority approval.

This Package must include:

- Site Plan (1:200);
- Floor plans;
- Elevations;
- Sections (1:100);
- External colours and materials selection;
- Landscape Plan (does not have to be professionally drawn up, you can use the site plan to mark up your proposed landscaping).

Any departures from the Design Essentials will be assessed separately and based on its architectural merits.

The key steps in the Approval process are outlined in the following chart (at right).



THE DESIGN ESSENTIALS

01

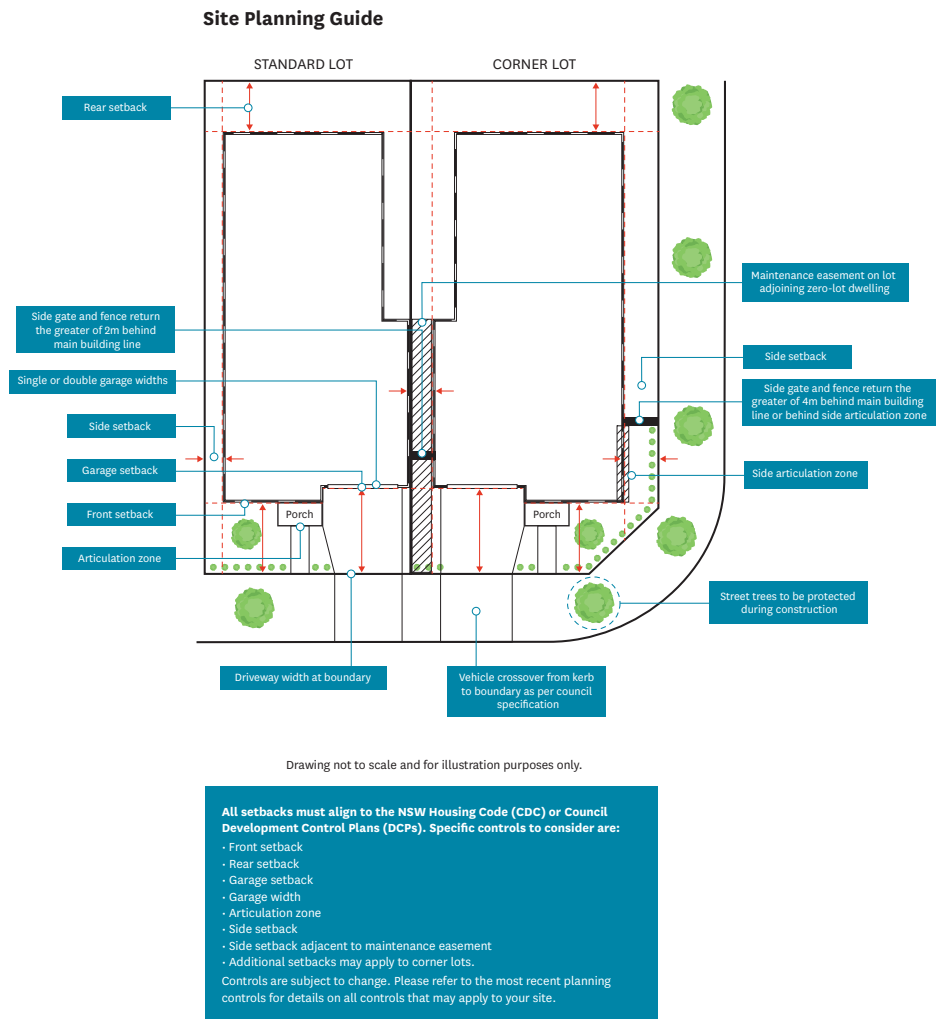
SITING AND SERVICING YOUR HOME

1.1 Minimum setbacks

Setbacks to building lines shall be as per NSW housing code (or Council DCP variations excepted).

1.2 Surrounding services

House construction and site works must not impact, damage or alter the surrounding levels of services installed within the council verge. If any works (such as filling or landscaping) result in the need for a service to be rectified by Stockland or a utility provider, this rectification cost will be passed on to the property owner.



02

THE STYLE OF YOUR HOME

2.1 Home style

Your Home design must be either “Hamptons-inspired” or “Contemporary” and in keeping with the other homes in your street.

Faux heritage styles and detailing will not be permitted unless it is in keeping with the above architectural styles.

2.2 House design separation

The house facade may not be the same as one within three lots either side or across the street, unless:

- It is approved in writing by Stockland and/or
- The house is part of a row of terraced homes or a medium density development.



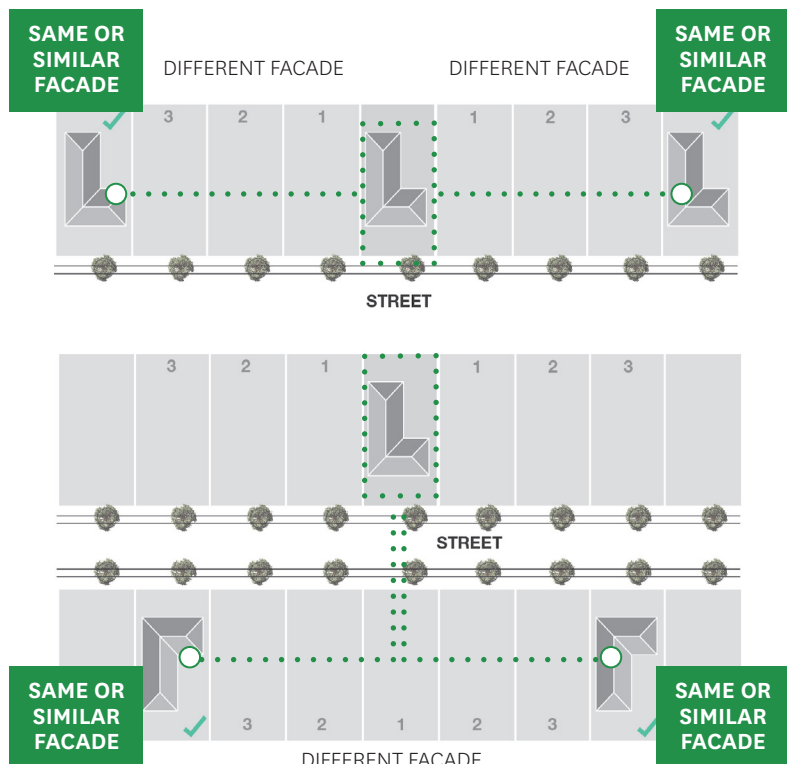
✓ **Hamptons-inspired facade by Carlisle Homes**



✓ **Contemporary facade**



✗ **Faux heritage features not permitted**



2.3 Roof pitch

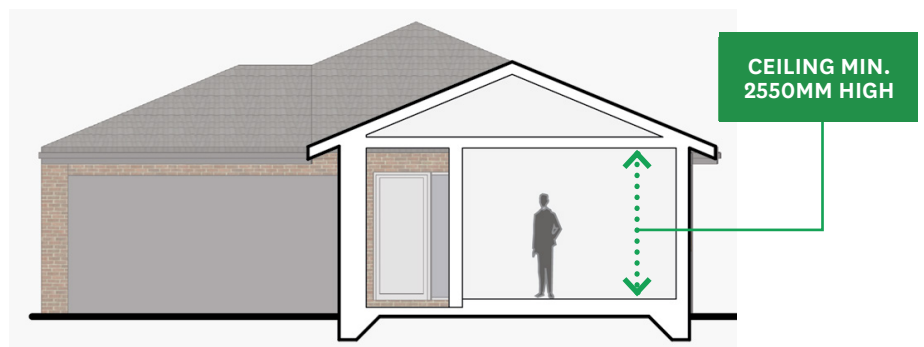
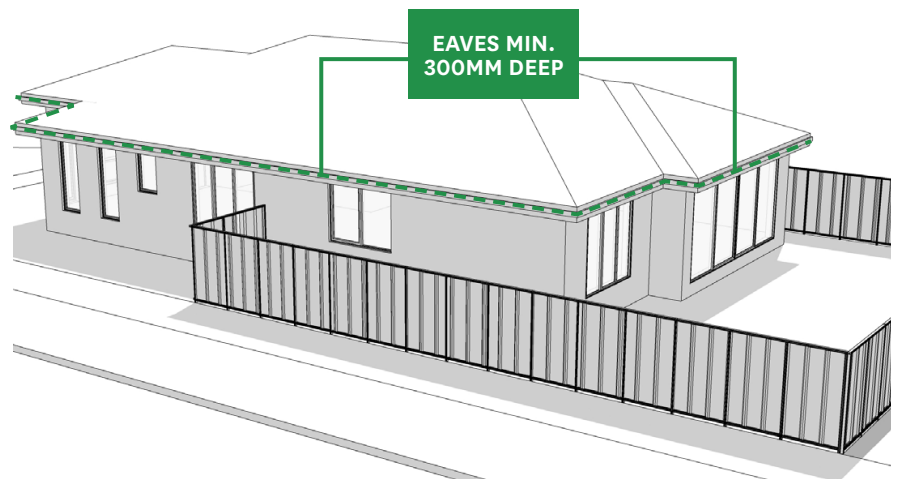
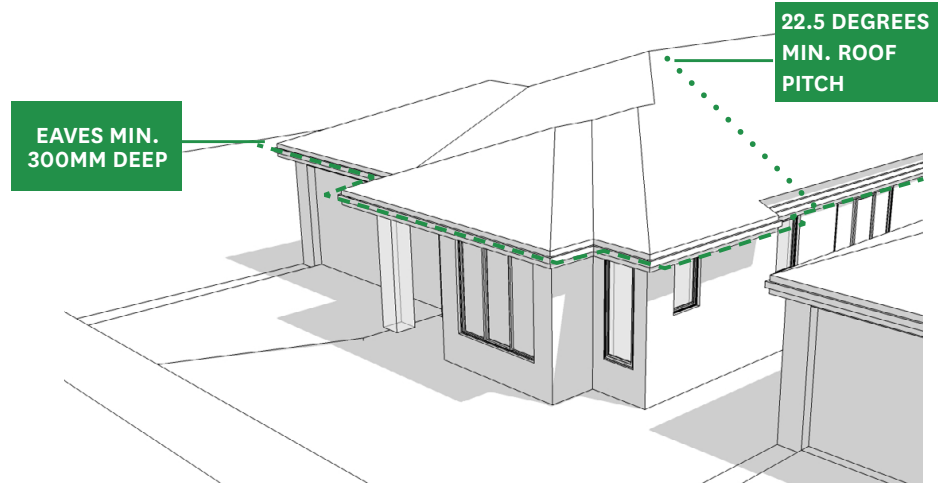
A minimum roof pitch of 22.5 degrees is required for a hipped roof. A minimum roof pitch of 8 degrees is required for a skillion roof. Flat roofs are to be concealed by a parapet.

2.4 Eaves

Eaves, excluding fascia and gutter, are to be provided to all habitable rooms and must overhang by a minimum of 300mm. Where zero-lot boundaries apply, the non-habitable rooms (i.e. garages) are exempt from this requirement.

2.5 Ceiling heights

The ground floor of your home must have a minimum ceiling height of 2550mm.



03

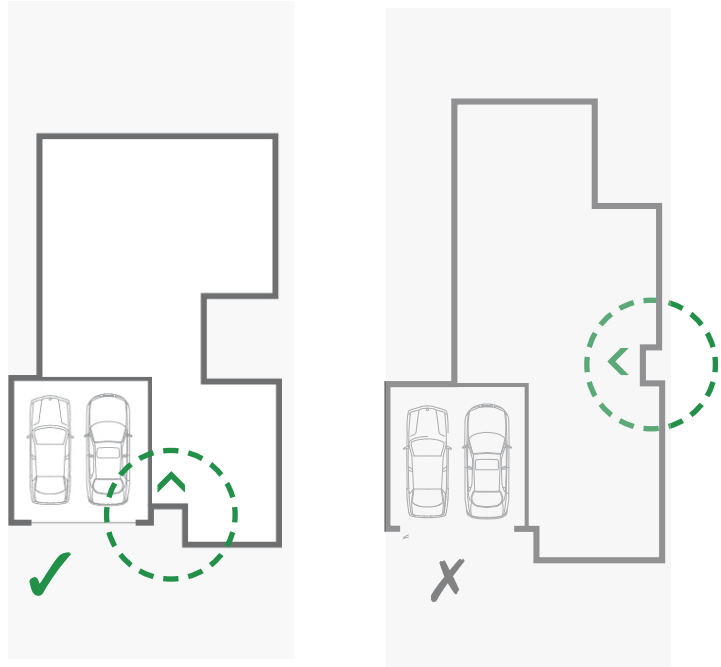
HOW YOUR HOME ADDRESSES THE STREET

3.1 Front door facing the street

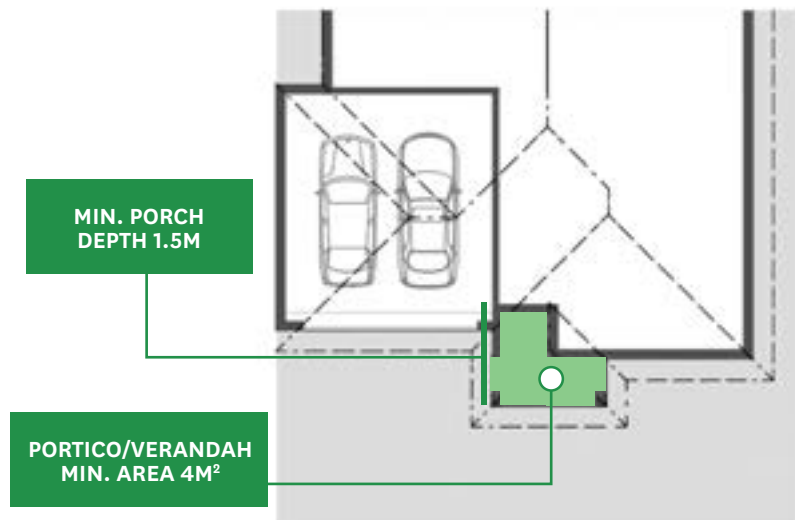
Your home must have a front door facing the street and either a verandah, porch or portico, to allow for passive surveillance.

3.2 Porch, portico or verandah size

Your home must have an undercover porch, portico or verandah with a minimum floor area of 4m² and a minimum depth of 1.5m.



Front door facing the street



Porch, portico or verandah size

3.3 Second-storey facade articulation

Second-storey facades to front or side streets and rear laneway must incorporate articulation via balconies and/or modulations (eg. additional setbacks, roof articulation).

3.4 External Materials

All external materials and colours must suit the character of the neighbourhood and be submitted to Stockland for approval.

Any facade of your home visible from a street or public space must have a minimum area of 20% of a material or colour contrasting with the main material or colour.

The 20% is calculated excluding windows, doors, garage doors and other openings.

Colour and material requirements apply to both the first and second storey of the facade.

For homes on corner and rear-accessed lots, architectural treatment, facade elements, roof articulation, materials and colours incorporated on the front facade must return along the secondary street frontage up to the corner fence return. Refer to corner fence requirements.



✓ **Front street elevation materials and colours continue for all facades visible to the street**

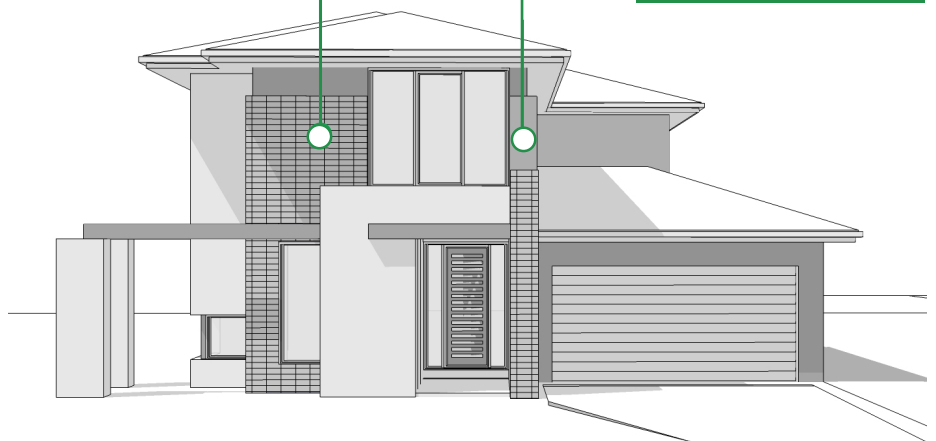
BALCONY TO FRONT & SIDE STREET SECOND STOREY FACADE



✓ **Corner lot architectural treatment, facade elements, roof articulation, materials and colours**

FACADE ELEMENTS RETURN ALONG SIDE STREET FRONTAGE UP TO CORNER FENCE RETURN

MIN. 20% CONTRASTING MATERIAL OR COLOUR



✓ **Additional setback and articulation to second-storey facade**

3.5 Roof, gutters and downpipes

Gutter and fascia colours are to match the roof colour. Downpipe colours must not contrast with wall colour.

Roof materials must not be: unfinished, reflective, galvanised, zinc, fibre cement or tray deck sheeting.

3.6 Garages

The garage must be attached and match the quality and finish of the exterior of your home. Carports will not be approved. Single and double garages must be set back a minimum of 900mm.

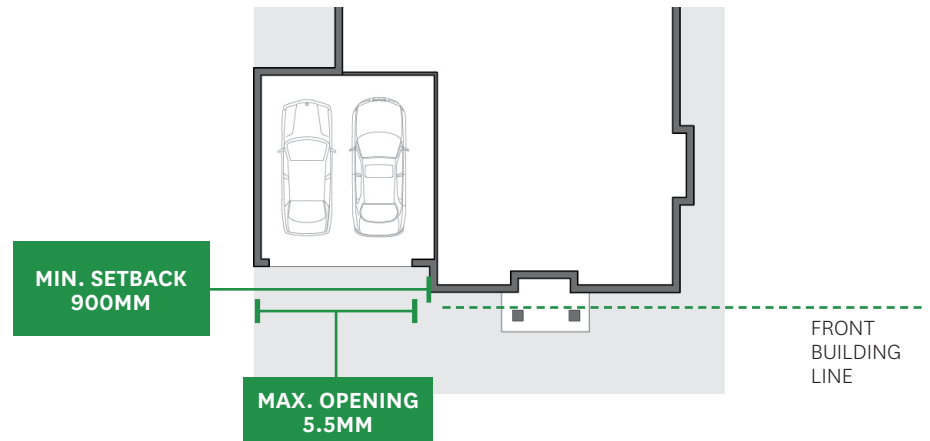
3.7 Garage doors

Garage doors must be:

- Panel lift;
- Sectional overhead;
- Or tilt-a-door.
- Complementary to the front facade/roof colour.

Roller doors will not be approved.

Double Garages



04

FRONT GARDEN LANDSCAPE

4.1 Extent of landscaping

All parts of the lot not built on or hard paved, that are visible from a front or side street or rear laneway, must be landscaped in the form of:

- Garden beds
- Turf
- Paving
- Decking

Your garden must be completed within 6 weeks of moving into your home.

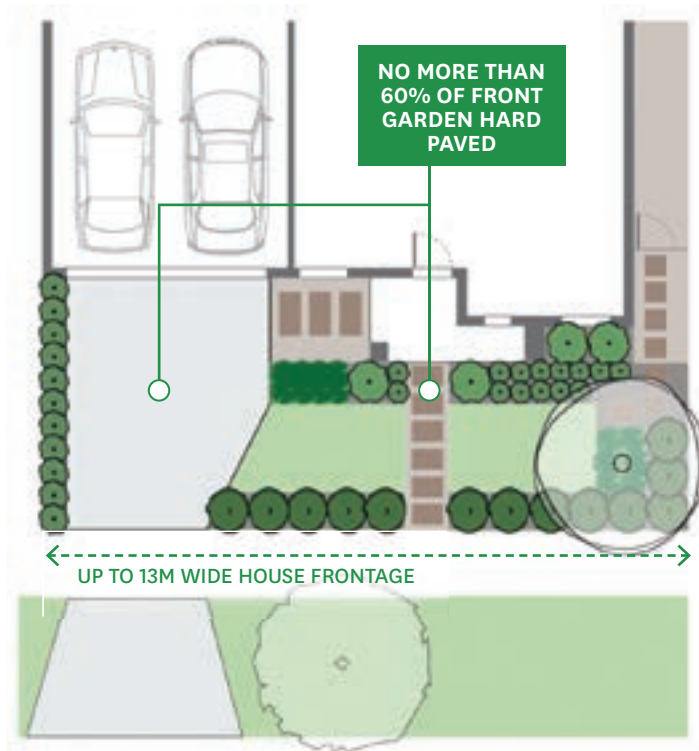
Stockland encourages you to landscape and maintain the nature strip in front of your home to contribute to the overall presentation of the community.

4.2 Extent of hard paving

No more than 60% of your front garden area is to be hard paved. This includes your driveway.

4.3 Trees in front garden

For all lots, 1 small to medium feature tree, with min. 1m in height when planted, is required.



Street tree



Feature tree min. 1.5m in height when planted



Hedging shrubs



Medium shrubs



Small shrubs



Tufting/grass plants



Mulch/groundcover plants



paving/gravel areas



Stepping pavers



Driveway/crossover



Grass areas

Example proposed landscape plan

4.4 Driveways

The driveway is to be shown on the house plans submitted to Stockland for approval.

The driveway must be offset a minimum of 500mm from the nearest side boundary.

Driveways must align with the crossover and be constructed in accordance with council regulations. All crossovers and driveways are to be completed prior to occupation.

Where there is an existing footpath, the footpath must be removed and driveway completed in one single pour.

Acceptable driveway materials are:

- Plain or coloured concrete
- Stamped concrete;
- Brick, slate or natural stone pavers;
- Exposed aggregate concrete.

The crossover must be finished in plain concrete (in light-grey 'standard' concrete).

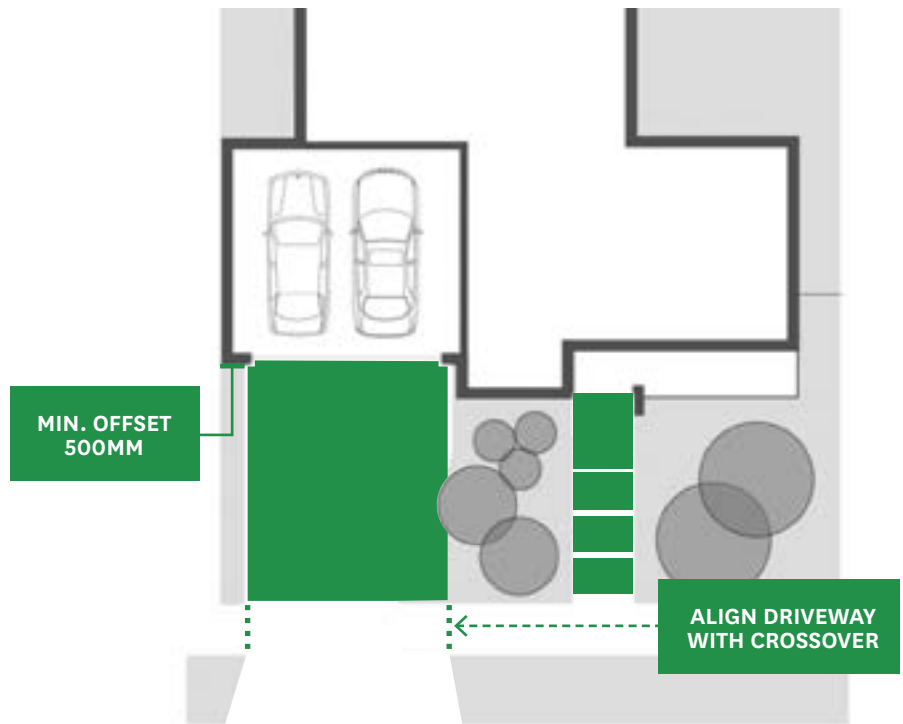
4.5 Letterboxes

Your letterbox must be constructed of masonry, rendered masonry or timber and must complement the dwelling's colour scheme.

4.6 Retaining walls

Where visible from the street or public realm, the vertical face of any retaining wall cannot be more than 1.2m in height, above existing ground level.

Retaining walls which abut the street must be constructed of stone or rendered masonry, in line with the village character.



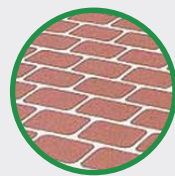
Driveway material choices



Stamped concrete



Coloured concrete



Brick pavers



Exposed aggregate concrete



Light-grey plain concrete



4.7 Front Garden Prototypes

Stockland’s landscape architects have prepared three front garden prototypes and a species list to help you get the best out of your home site.

You can use these designs and the species list as a brief for your landscaper or as a guide to do it yourself.

Each prototype responds to the local climate and context to encourage visually appealing streetscapes that protect your investment, and contribute to the neighbourhood character.

Escarpment Garden

The Escarpment Garden style is made up of endemic to region species with a range of textures, colours and flowers that attract native birds and insects. Planting together with informal rocks and stepping stones create a natural looking setting.

Design Principles

The Escarpment Garden is designed to be naturalistic with subtle seasonal displays.

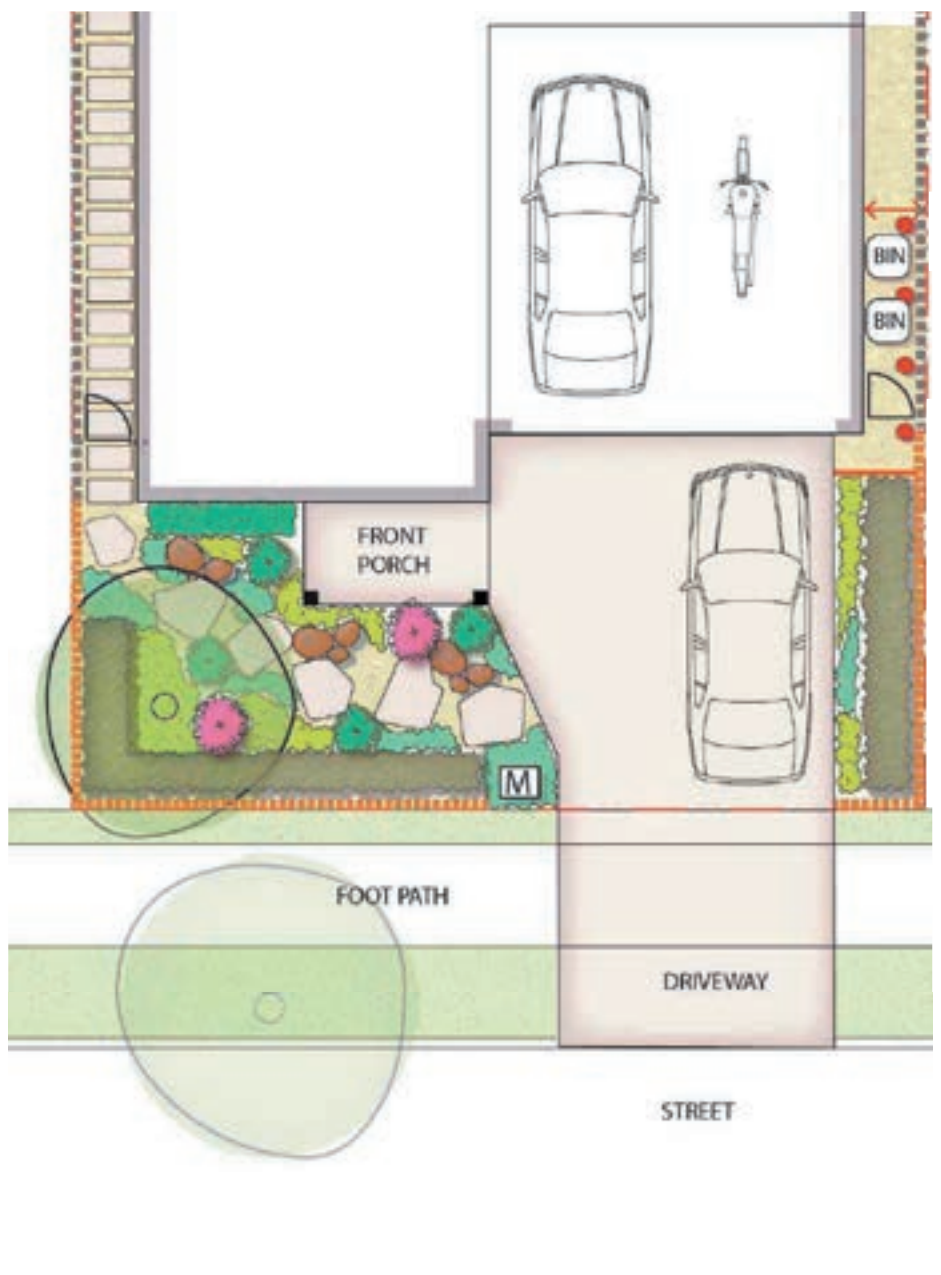
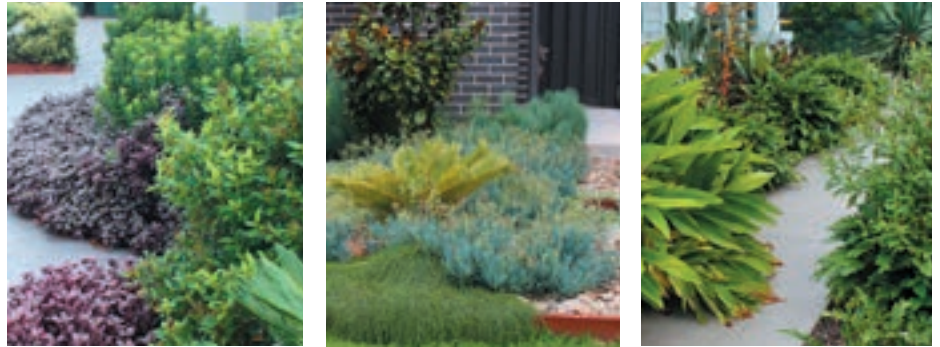
Planting Arrangement

Single specimen plants surrounded by random groupings of 3-5 plants per species.

Water Usage

Low-medium

Escarpment Garden



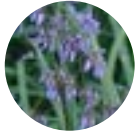
Legend

- Lot boundary
- Tree planting
- Turf
- Hedge planting 1.2m height
- Low hedge planting 0.5m height
- Massplanting 0.3-0.8m height
- Groundcover planting 0-0.3m
- Medium shrub 0.5-0.8m
- Shrub or accent planting
- Climbers
- Front fence, 1.2m HT
- Side fence 1.8m HT
- Brick garden edge
- Mailbox location
- Rubbish bin location

Use this legend to choose the plant species you would like to use from the associated list over the page. All plant sizes are height x width in metres.

Escarpment Garden Species List

GROUNDCOVER



Dianella caerulea
Paroo Lily
1 x 1



Dichondra repens
Kidney Weed
0.2 x 1



Hardenbergia violacea
Native Sarsparilla
0.4 x 0.4



Kennedia rubicunda
Dusky Coral Pea
0.3 x 4



Viola hederacea
Native Violet
0.2 x 0.6

MASSPLANTING



Lomandra longifolia
Mat Rush
0.6 x 0.6



Microlaena stipoides
var. *stipoides*
Weeping Grass
0.3 x 0.3



Poa labillardieri var.
labillardieri
Large Tussock Grass
0.5 x 0.5



Scaevola aemula
Fan Flower
0.5 x 0.8



Scaevola calendulacea
Dune Fan Flower
0.4 x 0.7



Themeda australis
Kangaroo Grass
0.6 x 0.5

CLIMBERS



Hibbertia scandens
Climbing Guinea Flower
0.5 x 1



Myoporum parvifolium
Creeping Boobialla
0.3 x 3



Pandorea pandorana
Wonga Wonga Vine
3-8 x 3-8

SHRUBS



Banksia ericifolia
Heath-Leaved Banksia
1.8 x 1.8



Banksia spinulosa
Hairpin Banksia
1.5 x 1.5



Callistemon citrinus
Bottlebrush
3 x 3



Callistemon salignus
Bottlebrush
3 x 3



Callistemon viminalis
Bottlebrush
5-8 x 3-4



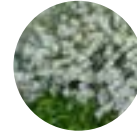
Ceratopetalum gummiferum
NSW Christmas Bush
4-5 x 2-3



Correa alba
White Correa
1.5 x 1.5



Correa reflexa
Native Fuschia
1 x 2



Eriostemon myoporoides
Longleaf Waxflower
1 x 1



Hakea dactyloides
Broadleaved Hakea
1.8 x 1.5



Hakea laurina
Pincushion Hakea
5 x 4



Hakea salicifolia
Willow-Leaved Hakea
5 x 4



Hibiscus heterophyllus
Native Hibiscus
1.5 x 1.3



Hymenosporum flavum
Native Frangipani
6 x 5



Kunzea ambigua
Tick Bush
3 x 3



Kunzea capitata
Pink Kunzea
1 x 0.5



Leptospermum sp.
Tea Tree



Prostanthera incisa
Cutleaf Mintbush



Prostanthera ovalifolia
Purple Mintbush



Syzygium australe
Brush Cherry

Escarpment Garden Species List continued...



Telopea speciosissima
NSW Waratah



Westringia fruticosa
Coastal Rosemary



Pittosporum multiflorum
Orange Thorn
1-3 x 1.5-2.5



Pittosporum revolutum
Rough-Fruited Pittosporum
3 x 2



Acmena smithii
Lilly Pilly
6 x 4



Pittosporum undulatum
White Pittosporum
12 x 3



Podocarpus elatus
Plum Pine
8 x 4



Tristaniopsis laurina
Water Gum
8 x 4

ACCENT PLANTS



Crinum pendunculatum
Native Crinum Lily
2-3 x 3



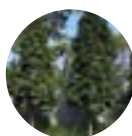
Doryanthes excelsa
Gynea Lily
1.5 x 2-4



Alphitonia excelsa
Red Ash
7 x 5



Backhousia myrtifolia
Cinnamon Myrtle
3 x 2-4



Elaeocarpus reticularis
Blueberry Ash
8 x 3

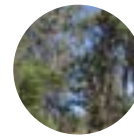
LARGE TREES (Lifestyle lots only)



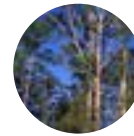
Angophora floribunda
Rough-Barked Apple
10-15 x 10



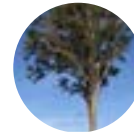
Eucalyptus bosistoana
Coast Grey Box
30 x 8



Eucalyptus eugenioides
Thin-Leaved Stringybark
12 x 3



Eucalyptus pilularis
Blackbutt
20 x 10



Eucalyptus tereticornis
Forest Red Gum
20 x 10



Ficus coronata
Sandpaper Fig
6-12 x 3-5

SMALL TREES



Acacia maidenii
Maiden's Wattle
6 x 2



Banksia integrifolia
Coast Banksia
15 x 6



Brachychiton populneus
Kurrajong
8-10 x 10



Breynia oblongifolia
Coffee Bush
2 x 3



Myrsine variabilis
Muttonwood
2 x 3



Notelaea venosa
Veined Mock-Olive
3 x 2



Glochidion ferdinandi
Cheese Tree
10 x 5



Guioa semiglauca
Guioa
6 x 4



Melaleuca decora
White Feather Honey Myrtle
10 x 5



Melaleuca linariifolia
Snow in Summer
10 x 4



Melaleuca styphelioides
Prickly-Leaved Paperbark
4-10 x 3



Melia azedarach
White Cedar
12 x 6-8

Escarpment Garden Species List continued...

PALMS/FERNS



Archontophoenix cunninghamiana
Bangalow Palm
25 x 3



Asplenium australasicum
Birds Nest Fern
0.8 x 1



Blechnum nudum
Fishbone Water Fern
1 x 1



Baurea rubioides
Dog Rose
1 x 1



Cyathea australis
Rough Tree Fern
8 x 3.5



Dicksonia antractica
Soft Tree Fern
8 x 3.5



Doodia aspera
Rasp Fern
0.6 x 0.8



Livistonia australis
Cabbage Palm
20 x 5



Xanthorrhoea australis
Grass Tree
4 x 2

Contemporary Garden

The Contemporary Garden style is made up of endemic to region species with a range of textures, colours and flowers that attract native birds and insects, carefully arranged to create visual interest.

Design Principles

The Contemporary Garden is designed to create visual focal points using larger stepping stones and accent plants.

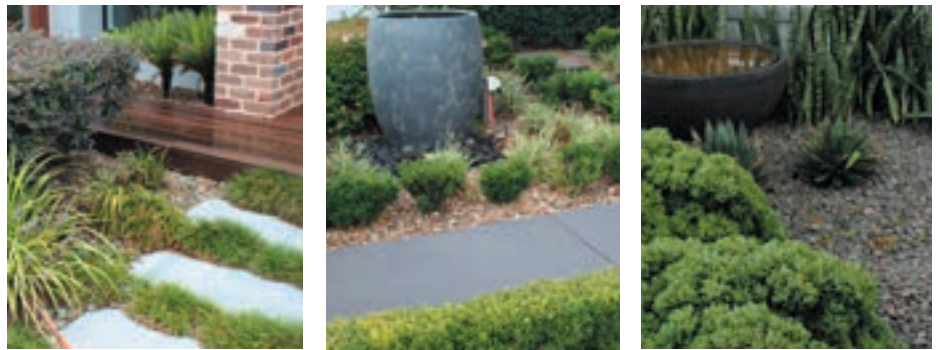
Planting Arrangement

Groupings of 5-8 plants. Variety of heights.

Water Usage

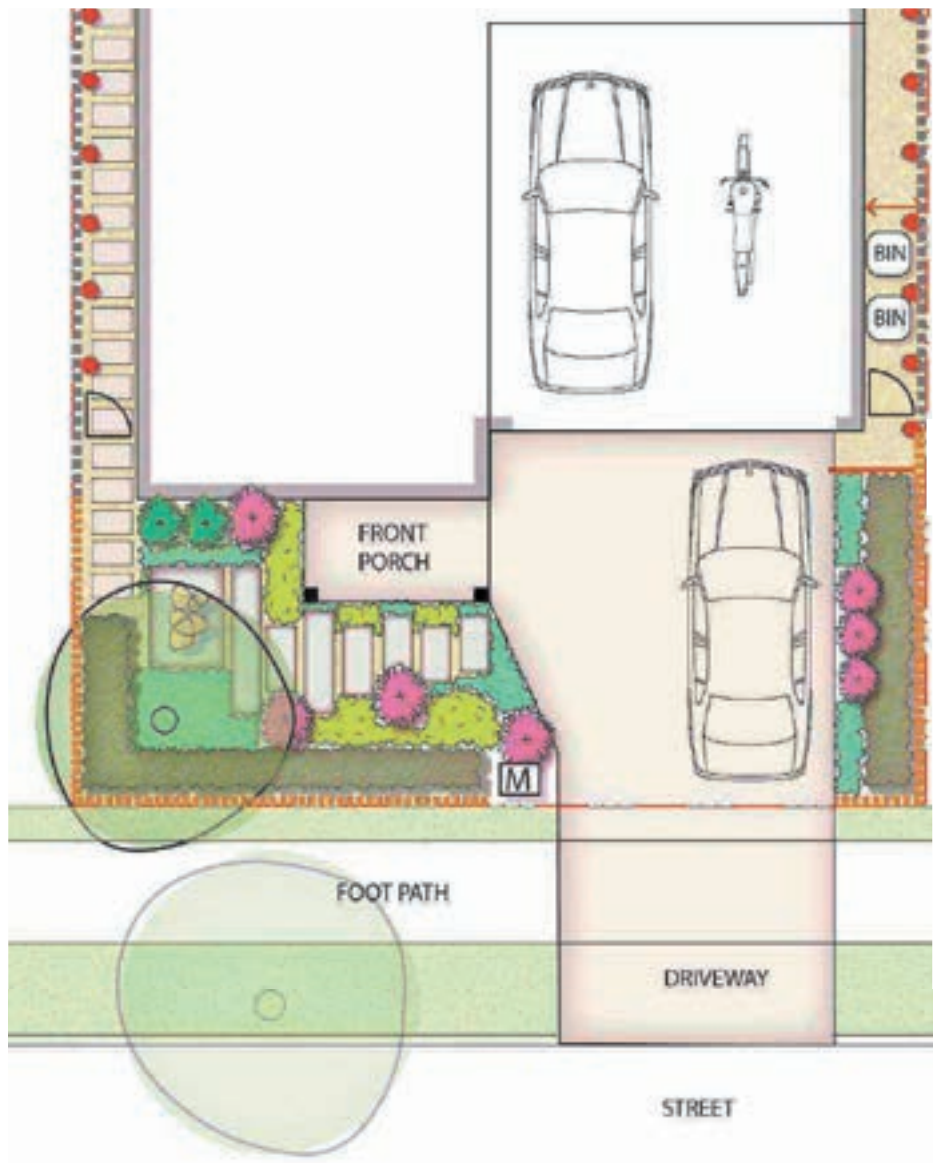
Low-medium

Contemporary Garden



- Legend**
- Lot boundary
 - Tree planting
 - Turf
 - Hedge planting 1.2m height
 - Low hedge planting 0.5m height
 - Massplanting 0.3-0.8m height
 - Groundcover planting 0-0.3m
 - Medium shrub 0.5-0.8m
 - Shrub or accent planting
 - Climbers
 - Front fence, 1.2m HT
 - Side fence 1.8m HT
 - Brick garden edge
 - Mailbox location
 - Rubbish bin location

Use this legend to choose the plant species you would like to use from the associated list over the page. All plant sizes are height x width in metres.



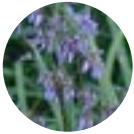
0 1 2 3 4 5 6m
SCALE 1:100 @ A3

Contemporary Garden Species List

GROUNDCOVER



Carpobrotus glaucescens
Pig Face
0.2 x 0.2



Dianella caerulea
Paroo Lily
1 x 1



Dichondra repens
Kidney Weed
0.2 x 1



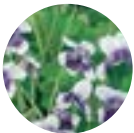
Hardenbergia violacea
Native Sarsparilla
0.4 x 0.4



Helichrysum elatum
White Everlasting
0.3 x 0.3



Kennedia rubicunda
Dusky Coral Pea
0.3 x 4



Viola hederacea
Native Violet
0.2 x 0.6

MASSPLANTING



Brachycome multifida
Swan River Daisy
0.3 x 0.5



Microlaena stipoides
var. *stipoides*
Weeping Grass
0.3 x 0.3



Poa labillardieri var.
labillardieri
Large Tussock Grass
0.5 x 0.5



Scaevola aemula
Fan Flower
0.5 x 0.8



Scaevola calendulacea
Dune Fan Flower
0.4 x 0.7



Themeda australis
Kangaroo Grass
0.6 x 0.5

CLIMBERS



Hibbertia scandens
Climbing Guinea Flower
0.5 x 1



Myoporum parvifolium
Creeping Boobialla
0.3 x 3

SHRUBS



Banksia ericifolia
Heath-Leaved Banksia
1.8 x 1.8



Banksia spinulosa
Hairpin Banksia
1.5 x 1.5



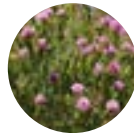
Correa alba
White Correa
1.5 x 1.5



Correa reflexa
Native Fuschia
1 x 2



Kunzea ambigua
Tick Bush
3 x 3



Kunzea capitata
Pink Kunzea
1 x 0.5



Leptospermum sp.
Tea Tree



Prostanthera incisa
Cutleaf Mintbush



Prostanthera ovalifolia
Purple Mintbush



Syzygium australe
Brush Cherry



Telopea speciosissima
NSW Waratah



Westringia fruticosa
Coastal Rosemary

ACCENT PLANTS



Crinum pendunculatum
Native Crinum Lily
2-3 x 3



Doryanthes excelsa
Gymea Lily
1.5 x 2-4

SMALL TREES



Acacia maidenii
Maiden's Wattle
6 x 2



Banksia integrifolia
Coast Banksia
15 x 6

Contemporary Garden Species List continued...



Brachycton populneus
Kurrajong
8-10 x 10



Breynia oblongifolia
Coffee Bush
2 x 3



Myrsine variabilis
Muttonwood
2 x 3



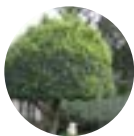
Notelaea venosa
Veined Mock-Olive
3 x 2



Pittosporum multiflorum
Orange Thorn
1-3 x 1.5-2.5



Pittosporum revolutum
Rough-Fruited Pittosporum
3 x 2



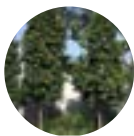
Acmena smithii
Lilly Pilly
6 x 4



Alphitonia excelsa
Red Ash
7 x 5



Backhousia myrtifolia
Cinnamon Myrtle
3 x 2-4



Elaeocarpus reticularis
Blueberry Ash
8 x 3



Glochidion ferdinandi
Cheese Tree
10 x 5



Guioa semiglauc
Guioa
6 x 4



Melaleuca decora
White Feather Honey Myrtle
10 x 5



Melaleuca linariifolia
Snow in Summer
10 x 4



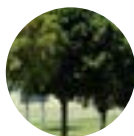
Melaleuca styphelioides
Prickly-Leaved Paperbark
4-10 x 3



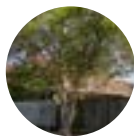
Melia azedarach
White Cedar
12 x 6-8



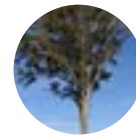
Pittosporum undulatum
White Pittosporum
12 x 3



Podocarpus elatus
Plum Pine
8 x 4



Tristaniopsis laurina
Water Gum
8 x 4

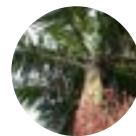


Eucalyptus tereticornis
Forest Red Gum
20 x 10



Ficus coronata
Sandpaper Fig
6-12 x 3-5

PALMS/FERNS



Archontophoenix cunninghamiana
Bangalow Palm
25 x 3



Asplenium australasicum
Birds Nest Fern
0.8 x 1



Blechnum nudum
Fishbone Water Fern
1 x 1



Baurea rubioides
Dog Rose
1 x 1



Cyathea australis
Rough Tree Fern
8 x 3.5



Dicksonia antractica
Soft Tree Fern
8 x 3.5



Doodia aspera
Rasp Fern
0.6 x 0.8



Livistonia australis
Cabbage Palm
20 x 5

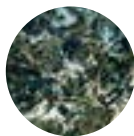


Xanthorrhoea australis
Grass Tree
4 x 2

LARGE TREES (Lifestyle lots only)



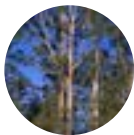
Angophora floribunda
Rough-Barked Apple
10-15 x 10



Eucalyptus bosistoana
Coast Grey Box
30 x 8



Eucalyptus eugenioides
Thin-Leaved Stringybark
12 x 3



Eucalyptus pilularis
Blackbutt
20 x 10

Farm Garden

The Farm Garden style is made up of endemic to region species with a range of textures, colours and flowers that attract native birds and with edible food plants in traditional raised planters for vegetable and herb productions.

Design Principles

The Farm Garden is designed to have a traditional/formal layout to enable easy circulation and garden maintenance.















Planting Arrangement

Rows of productive plants and occasional accent shrub.

Water Usage

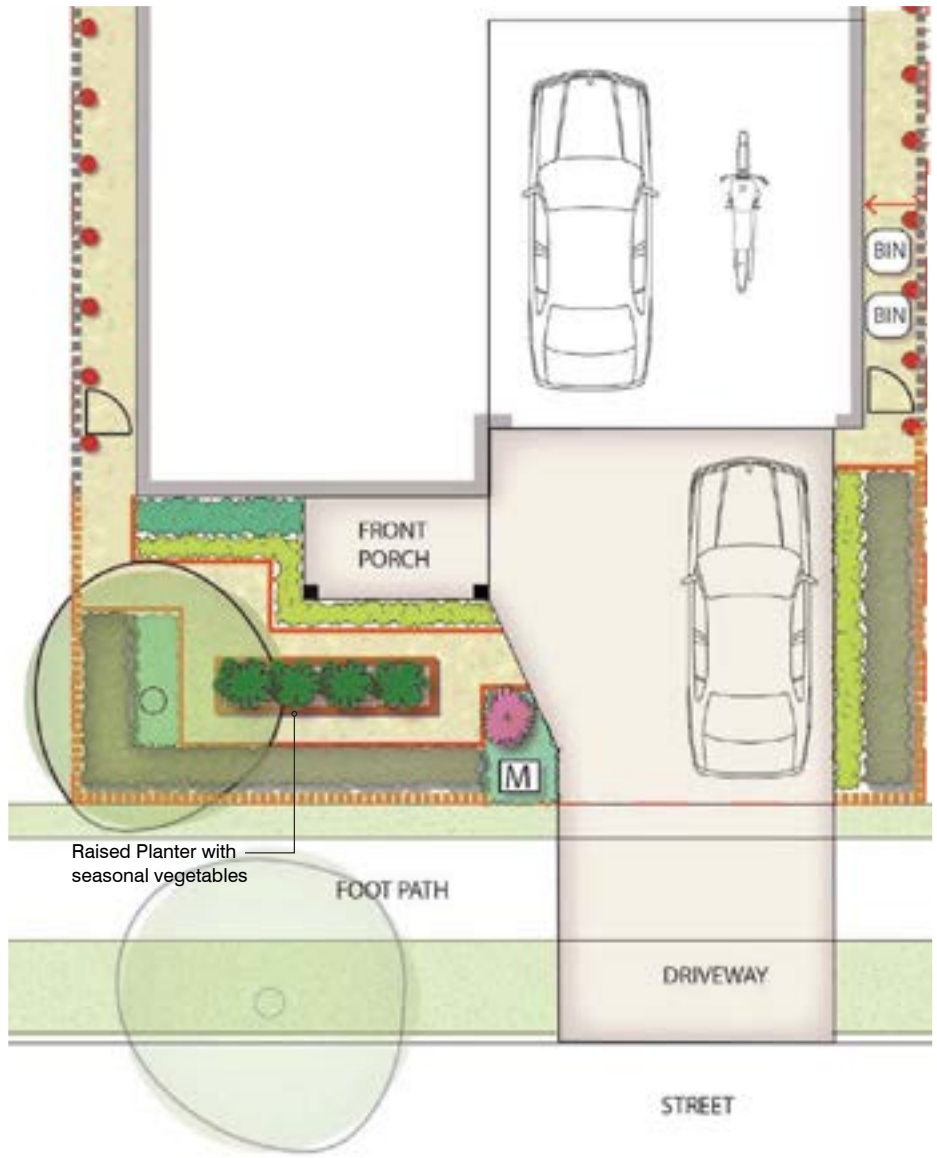
Low-medium

Legend

-  Lot boundary
-  Tree planting
-  Turf
-  Hedge planting 1.2m height
-  Low hedge planting 0.5m height
-  Massplanting 0.3-0.8m height
-  Groundcover planting 0-0.3m
-  Medium shrub 0.5-0.8m
-  Shrub or accent planting
-  Climbers
-  Front fence, 1.2m HT
-  Side fence 1.8m HT
-  Brick garden edge
-  Mailbox location
-  Rubbish bin location

Use this legend to choose the plant species you would like to use from the associated list over the page. All plant sizes are height x width in metres.

Farm Garden



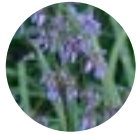
Farm Garden Species List

 = Edible plants (used by Indigenous people for food and other uses)

GROUNDCOVER



Carpobrotus glaucescens
Pig Face
0.2 x 0.2



Dianella caerulea
Paroo Lily
1 x 1



Dichondra repens
Kidney Weed
0.2 x 1



Hardenbergia violacea
Native Sarsparilla
0.4 x 0.4



Viola hederacea
Native Violet
0.2 x 0.6

MASSPLANTING



Scaevola aemula
Fan Flower
0.5 x 0.8



Scaevola calendulacea
Dune Fan Flower
0.4 x 0.7

CLIMBERS



Hibbertia scandens
Climbing Guinea Flower
0.5 x 1



Myoporum parvifolium
Creeping Boobialla
0.3 x 3

SHRUBS



Syzygium australe
Brush Cherry



Tasmannia insipida
Pepper Bush



Telopea speciosissima
NSW Waratah



Westringia fruticosa
Coastal Rosemary

SMALL TREES



Acacia maidenii
Maiden's Wattle
6 x 2



Banksia integrifolia
Coast Banksia
15 x 6



Brachychiton populneus
Kurrajong
8-10 x 10



Breyntia oblongifolia
Coffee Bush
2 x 3



Myrsine variabilis
Muttonwood
2 x 3



Notelaea venosa
Veined Mock-Olive
3 x 2



Citrus reticulata
Mandarin
3 x 4



Citrus ssp.
Lemon
3 x 4



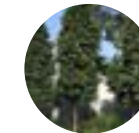
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Lilly Pilly
6 x 4



Alphitonia excelsa
Red Ash
7 x 5



Backhousia myrtifolia
Cinnamon Myrtle
3 x 2-4



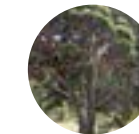
Elaeocarpus reticularis
Blueberry Ash
8 x 3



Glochidion ferdinandi
Cheese Tree
10 x 5



Guioa semiglauca
Guioa
6 x 4



Melaleuca decora
White Feather Honey Myrtle
10 x 5



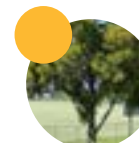
Melaleuca linariifolia
Snow in Summer
10 x 4



Melaleuca styphelioides
Prickly-Leaved Paperbark
4-10 x 3



Pittosporum undulatum
White Pittosporum
12 x 3



Podocarpus elatus
Plum Pine
8 x 4

Farm Garden Species List continued...



Tristaniopsis laurina
Water Gum
8 x 4

LARGE TREES (Lifestyle lots only)



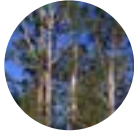
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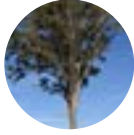
Eucalyptus bosistoana
Coast Grey Box
30 x 8



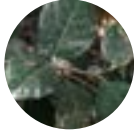
Eucalyptus eugenioides
Thin-Leaved Stringybark
12 x 3



Eucalyptus pilularis
Blackbutt
20 x 10



Eucalyptus tereticornis
Forest Red Gum
20 x 10



Ficus coronata
Sandpaper Fig
6-12 x 3-5

05

FENCING AND BOUNDARIES

5.1 General requirements

Stockland does not provide fencing. Fencing design drawings must be submitted for approval by Stockland's Covenant Specialist before commencing construction. This includes front fencing.

5.2 Front fencing

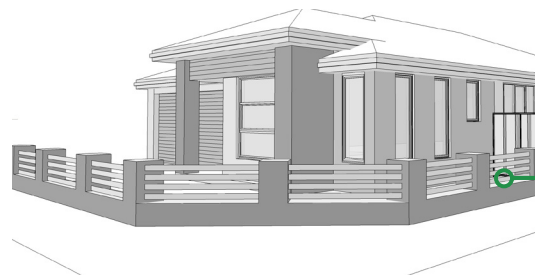
Front fences are permitted where they:

- Are constructed of rendered/moroka finished masonry piers with a 300mm high low wall, with shrub planting behind or open metal/timber infill.
- Complement the style and colour scheme of the home.
- Are no higher than 1.2m.
- Return along the side boundaries to connect back to the side fences or walls of your home. For corner lots, where there is a side street stepped fence, the front fence must return to connect to the stepped fence return.

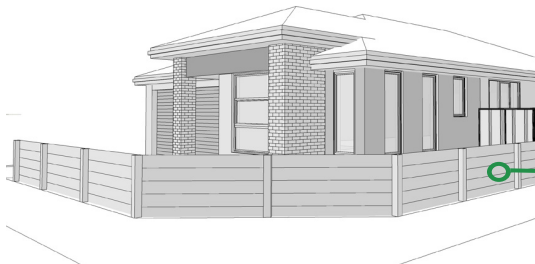
Chain mesh or chain link fencing systems will not be approved.



✓ **Front fencing complements style and colour scheme of home**



✓ **Front fence timber infill**



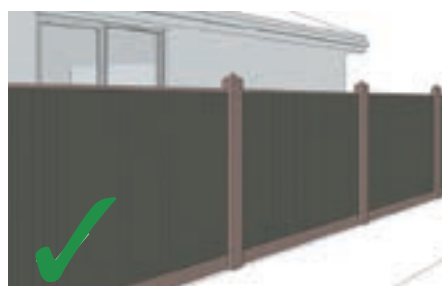
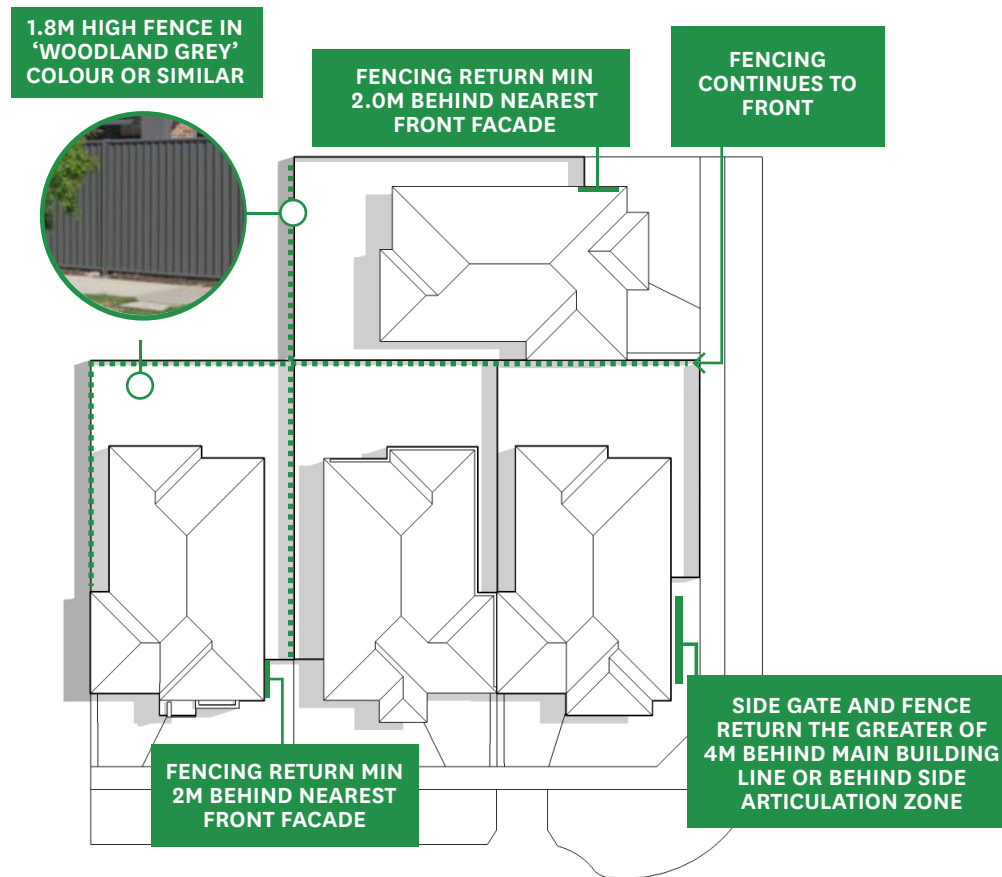
✗ **Front fence not transparent and does not complement the style and colour scheme of the home**



5.3 Mandatory side, rear and corner fencing

The following fencing standard is required:

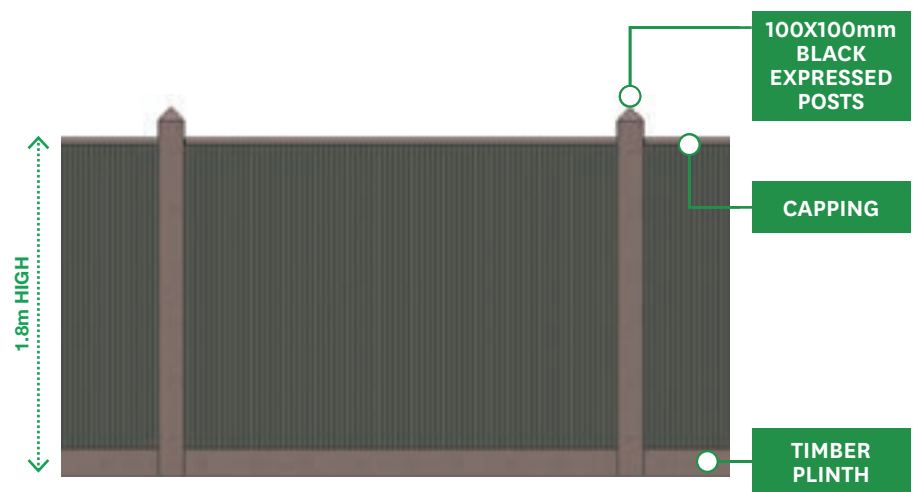
- Be constructed of 1.8m high pre-coated metal sheeting panels (eg. Colorbond) in 'Woodland Grey' colour or coloured to match.
- Acceptable fencing profiles include Lysaght's 'Neetascreen' or Stratco's 'Superdek' range, or similar profiles approved in writing by Stockland's Covenant Specialist.
- Be returned at 90 degrees to the home, to connect with the side of the home or garage wall at least 2m behind the nearest front facade.
- Continue to the front of the lot if a side boundary forms the rear boundary of an adjoining lot unless otherwise specified.
- For corner lots secondary frontage side gate and fence return must be the greater of 4m behind main building line or behind side articulation zone.



CORNER LOT - SIDE STREET FENCING



SLOPING SITE - STEPPED FENCE



FENCE DETAIL

06

EXTERNAL ELEMENTS

6.1 General requirements

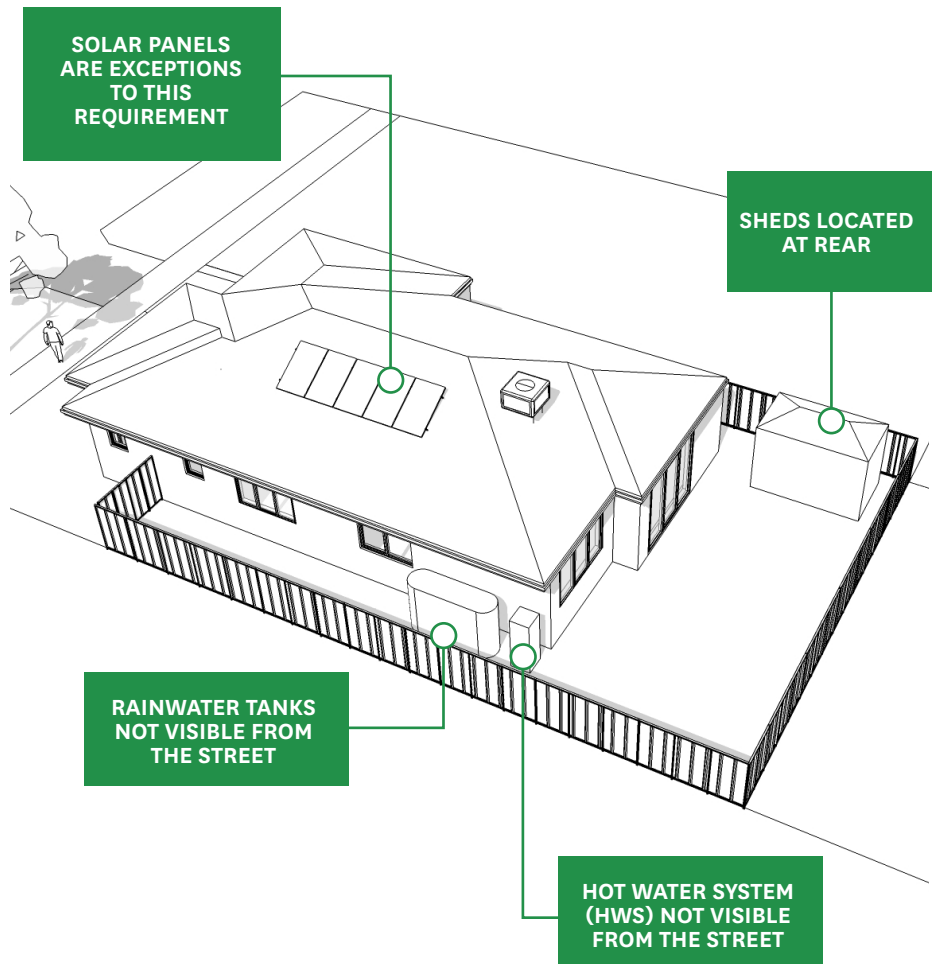
Any additions, fixtures, equipment, sheds, outbuildings or pergolas must be located to the rear of your home, out of sight from your street or any public reserve.

This includes (but is not limited to) satellite dishes, external hot water services, solar hot water systems with roof-mounted tanks, water tanks, spa pumps, heating and cooling units, rubbish disposal containers, rainwater tanks, washing lines and solar pool heating coils.

Solar panels for heating water or generating energy are exceptions to this requirement.

6.2 Exposed plumbing

Exposed plumbing must not be visible from the front or side street or neighbouring public reserves. This excludes gutters and downpipes.



6.3 Presentation and maintenance of your property

An owner/builder must not permit, cause or authorise any damage to any adjoining lot and/or any other part of the Forest Reach community, including but not limited to footpaths, kerb and channel, roadways and/or landscaping.

Where such damage occurs and Stockland is required to undertake repairs and rectifications, the owner/builder of the lot will be responsible to pay the cost of these works. Your property must be kept in a clean and tidy state at all times. Silt fences and rubble driveways are in place and must be maintained during the total construction of your home. Where rubbish, soil and grass cuttings are washed or blown from your lot and Stockland determines it is necessary to remove this rubbish, you will be responsible to pay for the cost of the removal. The owner/builder must maintain an industrial waste bin or fully wrapped cage bin on site at all times. The bin is to be established on site as soon as construction has commenced. This waste bin must be regularly emptied and must be covered when full so no material escapes the waste bin. The site must be cleared of any rubbish or building material on a daily basis with this rubbish and building material placed into the waste bin each afternoon when building activity has finished for the day. No excavated material, rubbish or dumping shall be placed on any adjoining lot, private or public area within Forest Reach.

For vacant lots that have been sold and settled, the individual owner is responsible for the presentation of the lot. Should excavated material or rubbish be dumped upon the lot, the owner is to address this directly with the adjoining owners/builders. When the home is constructed, the owner is responsible for maintaining the front and secondary street frontages. All turf and garden areas are to be kept mowed and maintained.

07

ENVIRONMENTAL SUSTAINABILITY

7.1 Energy efficiency & lighting

- All dwellings are encouraged to be designed and built to achieve reductions in greenhouse gas emissions in line with the relevant government regulations.
- It is encouraged that all internal light fittings such as downlights, pendants, wall mounts etc allow for compact fluorescents or LED.
- External light fittings must not result in excessive light spill.

7.2 Passive design

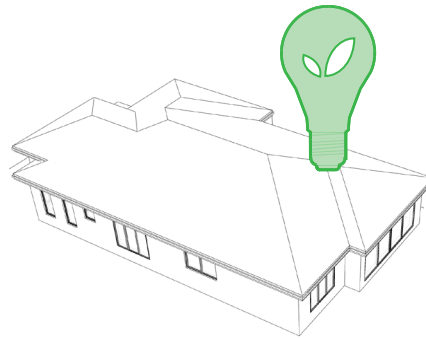
- Locate indoor and outdoor living spaces to the north of the dwelling to facilitate solar access in winter months.
- Where possible, provide adequate shading such as retractable shading devices, trees, tinted glass etc to prevent significant summer solar heat gain.
- Where possible, locate private open space on the north side of the allotment and avoid being located along a primary frontage.
- If possible, zone dwelling layout to enable main living areas to be separately heated and cooled.

7.3 Water efficiency

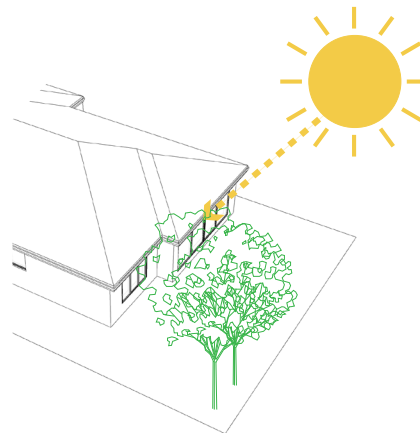
- All dwellings are encouraged to be connected to a rainwater tank for garden watering and car washing.
- Where a purple pipe recycled water system is in operation you will be required to connect for other purposes such as toilet flushing and washing machine supply.

Reducing energy, waste and water needs and usage, increasing comfort and reducing running costs for homeowners.

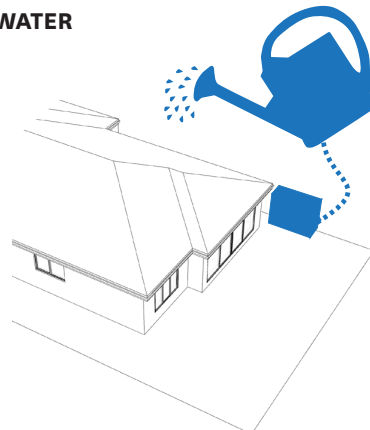
LED



NORTH



WATER









ROOF MATERIAL & COLOUR PALETTE

ROOF MATERIAL & COLOUR PALETTE





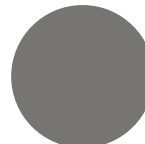
The colour and finish options selected in the colour palette are pre-endorsed selections. Other selections that are within the same colour tonal ranges of the palettes below will be considered for approval.

Colorbond



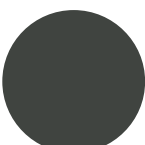

Light

- 
• Dover White
SA 0.28
- 
• Surfmist
SA 0.33
- 
• Southerly
SA 0.40
- 
• Evening Haze
SA 0.43
- 
• Shale Grey
SA 0.44
- 
• Dune
SA 0.48

Medium

- 
• Windspray
SA 0.60
- 
• Gully SA
0.64
- 
• Jasper
SA 0.67
- 
• Bassalt
SA 0.67
- 
• Wallaby
SA 0.64

Dark

- 
• Ironstone
SA 0.73
- 
• Monument
SA 0.73
- 
• Woodland Grey
SA 0.70
- 
• Deep Ocean
SA 0.74

*A roof with a lower solar absorptance will reflect more heat than a roof with a higher solar absorptance, and will keep the roof space and dwelling cooler on a hot day

<https://www.basix.nsw.gov.au/>
Colours and ratings current at time of publication

Monier Roof Tiles

Light

- 
• Salt Spray

Medium

- 
• Wild Rice

Dark

- 
• Barramundi
- 
• Babylon
- 
• Camelot
- 
• Wollemi
- 
• Aniseed
- 
• Caraway
- 
• Silver Perch

DESIGN APPROVAL CHECKLIST

DESIGN APPROVAL CHECKLIST

Site plan

1:200 or 1:100 scale

- Existing and proposed contours
- Proposed floor levels
- All setback dimensions to boundaries
- Fencing (incl. dimensions of fence return setbacks, stepped fencing, side street boundary fencing, etc)

Floor plan

1:100 scale

- Internal layout
- Dwelling areas
- Dimensions (including setbacks, articulation, porch, etc)
- Ancillary fixtures and equipment (eg. rainwater tanks, hot water systems, etc)

All elevations

1:100 scale

- External materials and colours
- Proposed floor levels and building heights from natural ground level
- Eave dimensions
- Roof pitch
- Sheds, outbuildings, pergolas, etc

Sections

1:100 or 1:50 scale

- Built form and natural ground level
- Site cut/fill
- Ceiling heights
- Retaining walls

External materials & colours schedule

- Wall cladding material and colour
- Roof material and colour
- Gutters, fascias, downpipes colour
- Window and door frames colour
- Decks, verandahs, etc
- Fencing material and colour
- Driveway material and colour

Landscape plan

1:100 scale

- Plant list, including species and sizes
- Front fencing details, material and colour
- Driveway material and colour
- Paving or hardscape material and colour
- Retaining walls

An approval issued under these Design Essentials is not an approval under the requirements of the Building Act, or any other Act or Regulation. The documents provided have not been checked for compliance with structural, health, or planning requirements, or for the suitability of the building for the use to which it may be intended. Accordingly, Stockland Development Pty Limited, its Architects, and/or its employees or representatives do not accept responsibility for the suitability or soundness of construction of the completed building of the associated site development works.

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**Stockland Forest Reach
Sales & Information Centre**

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E: design@stockland.com.au
P: (02) 9035 2000

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Stockland



Forest Reach

Contact us
design@stockland.com.au