
NEWPORT QUAY LAKE DESIGN ESSENTIALS

August 2017



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Newport

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INTRODUCTION

The Vision for Newport

There's a place, where the convenience of the city meets the water, an idyllic escape located with convenient access to Brisbane and far enough away to truly escape.

At Newport, you can enjoy a unique family-friendly lakefront and lakeside lifestyle with the things you need and want close to home.

Taking pride of place in the Redcliffe Peninsula, the Newport community in the Moreton Bay Region will provide a wide range of lakefront and lakeide homes suitable for different lifestyle needs.

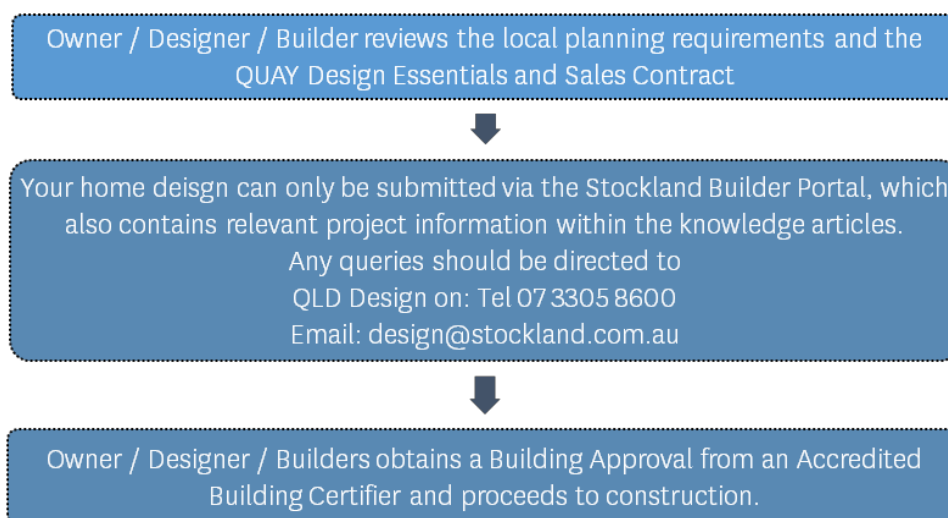
Approval Process

Stockland has prepared these Design Guidelines to guide house design at Newport.

The Design Guidelines should be read in conjunction with the Moreton Bay Regional Council Dwelling House Code and the QLD Development Code, which applies for this development site.

To ensure a smooth design review process, please pass this document to your designer/builder so that a 'Home Design Package' can be prepared for endorsement by Stockland. This package must include a Site Plan (1:200); Floor Plans, Elevation Plans, Colour schedule, Landscaping Plan & Fencing Plan.

The key steps in the Approval process are outlined in the following chart (below).



Further Information

- Visit our website at www.stockland.com.au/residential/qld to view the Building Journey handy tips and how-to videos.
- Handy fact sheets about building a new home are available online at www.yourhome.gov.au, which is a joint initiative of the Australian Government and the design and construction industries.
- For information about planning and development, you can find important information at council's offices or on their website at www.moretonbay.qld.gov.au.

PRESENTING YOUR HOME TO THE STREET

The design qualities set out in this document are provided to create a neighborhood that is visually interesting, promotes diversity and is of consistent high quality. The intent for the design of all homes within QUAY is to encourage a high level of articulation to help contribute to a diversified streetscape with finishes and materials consistent with contemporary QLD architectural character.

Setbacks & Siting

The minimum boundary setbacks and site cover limitations must be as per Table 9.3.1.5 and RAD5 respectively of the Dwelling House Code.

Built to boundary walls are to be located in accordance with the Plan of Development provided by Stockland within your contract of sale. Further controls regarding built to boundary walls are detailed in Table 9.3.1.7 of the Dwelling House Code.

House Size

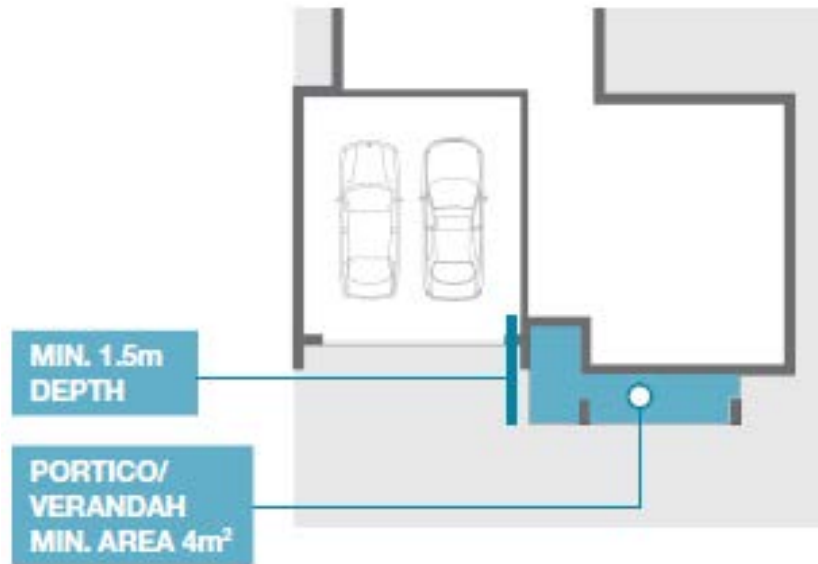
Dwellings should be designed in such that they appear as a substantial structure on the lot.

- A minimum floor area of 250m² is recommended to be included to all homes.

Front Façade Features



- Walls may be up to 7.5m long before a change in setback and eave line of at least 450mm is required.
- The design of the home must incorporate either a porch, portico or verandah that is:
 - At least 4m² with a minimum depth of 1.5m; and
 - Adequately covered, clearly defined and visible from the street.



Visibility

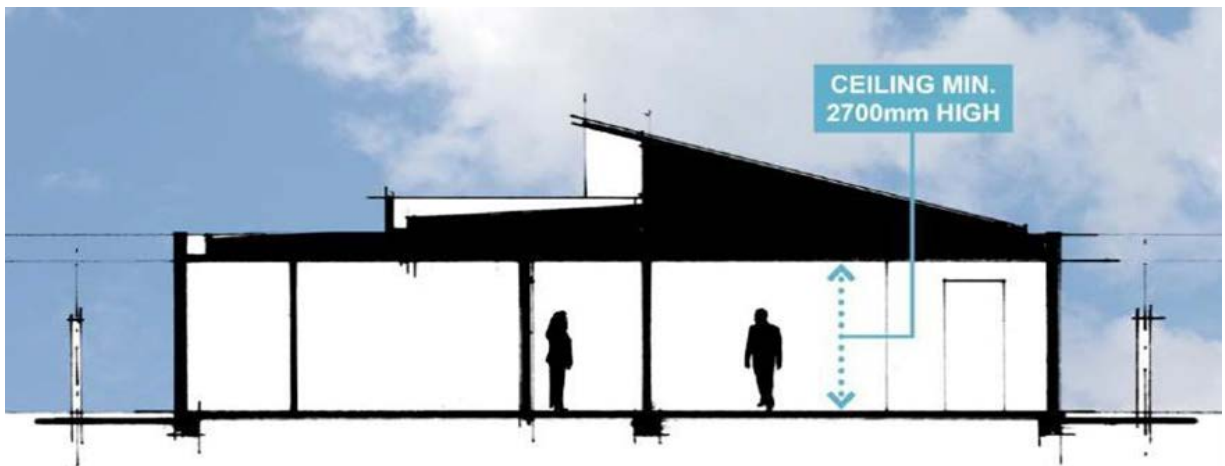
The façade area (excluding the garage door) facing a street or public area is to include sufficient glazing (minimum 10%) to allow for passive surveillance of the property and include a front door.

- A minimum of one habitable room window having an area of 1m² on each level is required to overlook each adjoining public space (i.e. street, public open space or laneway).



Building Height

- Overall building height must be as per RADO1 of the Dwelling House Code (presently 8.5 metres).
- For Villa Allotments (generally those lots with a frontage width of 10.5m), dwellings must be a two storey design.
- For Premium Villa Allotments (generally those lots with a frontage width of 12.5m), dwellings must be a two storey design unless otherwise approved by Stockland at their absolute discretion.
- All single storey homes must have a minimum ceiling height of 2700mm.



ROOFS

Roof Pitch

Roofing must be of a scale and form representative of contemporary Queensland Architecture.

- Hip and gable roofs must have a minimum pitch of 22.5 degrees.
- Skillion roof planes should not exceed a maximum of 15 degrees, unless it can be demonstrated where a higher roof pitch forms an integral part of the overall architectural design of the home.
- Flat and or contemporary roof designs will be considered individually on their merits where they complement the overall architectural character of the home.

Eaves

- All hipped and gable roofs must have eaves overhanging by a minimum 450mm (excluding fascia and gutter) where visible from the street.
- Eaves are encouraged to all areas of the home to assist with the shading of windows; minimizing heat gain during the day; and helping to moderate the internal temperature of the home.



- Where the design is contemporary and does not allow for any eaves, the use of awnings and/or sun shade materials is strongly encouraged where there is a window to improve energy efficiency.

Roof Materials

- Roof materials are limited to the following:
 - Corrugated prefinished coloured metal sheets (e.g. colorbond); or
 - Flat profile roof tiles.

CORNER LOTS

Wrapping the Corner

Houses on corner lots must have some form of articulation that addresses both streets, and is visible to the public. The articulation should be incorporated on the primary façade and should wrap around the corner and to also be incorporated on the secondary façade. Examples of these could be as follows:

- A verandah, portico or pergola of substantial bulk that utilizes, and wraps around both facades; or
- Recessing or projecting architectural elements that are substantial enough to articulate the corner; or
- Windows that address both streets.
- A minimum of one habitable room window having an area of 1m² on each level is required to overlook each adjoining public space (i.e. secondary street, public open space or laneway).

Secondary Street Treatment

- On the side wall that faces the secondary street (including facades visible from road reserves, easements, public walkways or parks) no straight section of the wall is to be longer than 8m. A step of at least 450mm is to be incorporated to break up these sections and to provide interest to the façade along the secondary street.

WATERFRONT ACTIVATION

Houses on lots with a direct connection to the water require additional design treatment to be included within these visible public areas.



Waterfront Façade Features

The design of the home facing the water is to include a variety of spaces that help contribute to the activation of the water's edge.

- Walls maybe up to 7.5m long before a change in setback and eave line of at least 450mm is required.
- The use of covered outdoor spaces integrated within the main house design are encouraged, so as to promote the frequent use of these spaces.



Decks over Water

- Decks must comply with the typical structure details attached to these guidelines.
- Applications for decks must be made to Moreton Bay Regional Council (unless the standardized design has already been approved). A copy of the approval must be provided before any works commence for any structure that extends into the waterway.
- Decks must not have any permanent roofing and must not contain any temporary shade structures other than foldable umbrellas (e.g. marquees).
- Decks must provide the appearance of natural timber and may be treated, stained and oiled but not painted.
- Lighting is not permitted on decks.



Pontoons and Jetties

- Pontoons and jetties must comply with the typical structure details attached to these guidelines.
- Applications for pontoons or jetties must be made to Moreton Bay Regional Council (unless the standardized design has already been approved). A copy of the approval must be provided before any works commence for any structure that extends into the waterway.
- Pontoons must not project excessively above the waterline and are sized appropriately for the vessel intended to be moored.
- Jetties should be constructed of concrete or steel. Timber jetty structures that are of high quality and integrated with a deck may be permitted to be constructed with the consent of Stockland.
- Pontoons and jetties are to be finished in neutral colour tones (e.g. greys and off whites)
- Any lighting must be low intensity and directed downwards and must not create glare towards any dwellings or across the waterway.



Boat Ramps & Sheds

- Due to the presence of a mass concrete revetment wall which provides a vertical edge to the constant level lake, boat ramps and associated sheds are not permitted.

BUILDING MATERIALS

Mix of Materials

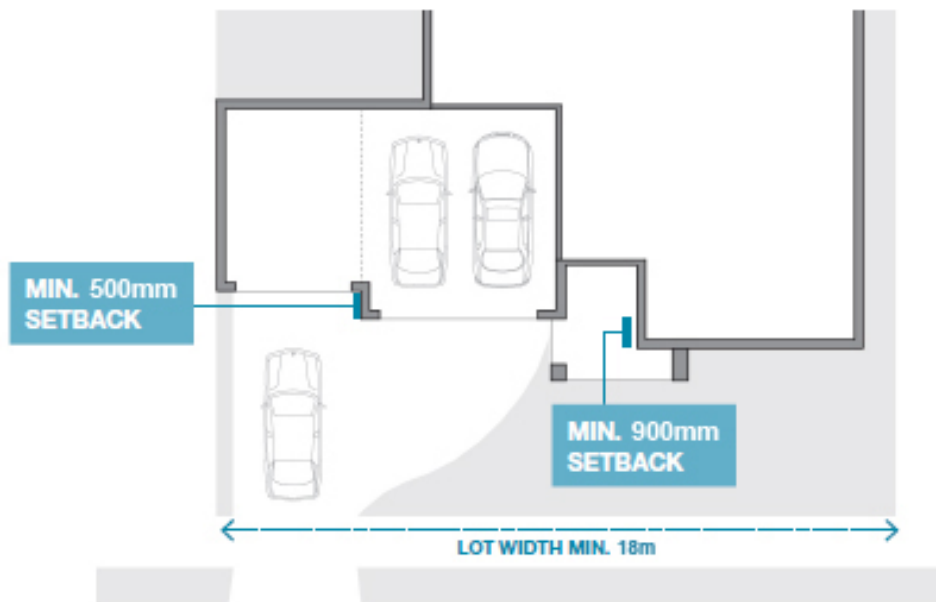
Homes are to be constructed to reflect contemporary Queensland Architecture and have regard to the climatic conditions of the area and the estate's unique location.

- Unfinished 'commons' bricks are not permitted.
- A minimum of three (3) materials or colours are to be used to the front street façade. No one material or colour can be more than 80% of a façade area.
- A minimum of two (2) materials or colours are to be used to the secondary street façade. No one material or colour can be more than 80% of a façade area. - Brickwork not permitted
- Minor feature elements may be provided with designer face brickwork provided they complement the overall design of the home. Large wall sections of face brickwork are not permitted to any elevation of the home.



GARAGES

- Freestanding or attached carports and garages must include a roof design & design features which are consistent with the form and materials of the home.
- Carports/carport materials (incl. roof) must also be consistent with the materials of the home.
- A minimum of 1 covered car parking space is required for all lots with a frontage of less than 12.5m with a minimum of 2 covered car parking spaces required for lots with a frontage of 12.5m or greater.
- All garages are required to be recessed a minimum of 900mm from the front building line of the home.
- Triple garages are only permitted on lots with a frontage of at least 18m; and where the third garage is setback a minimum 500mm from the other garage doors.



DRIVEWAYS AND CROSSOVERS

- Driveways are to be offset at least 500mm from the nearest side boundary. A landscape buffer strip is to be provided between the driveway and the side boundary.
- The crossover is limited to a maximum width of 40% of the road frontage or 4.8m, whichever is the lesser.
- Driveways must not be finished from plain concrete.



- All crossovers and driveways are to be completed prior to occupation.
- Parking areas and hardstand materials are to be designed such that they integrate with the landscape concept for the front yard, but must not include a reversing bay, manoeuvring area or visiting parking spaces (other than tandem spaces) in the front setback.

LANDSCAPING

Landscaping is a fundamental element in creating quality streetscapes, and provides the final character to the home. An example for landscaping of the front yard is provided below to assist in developing a cohesive link between the home and the street.



As a minimum, each lot is to provide:

- Planted garden beds that occupy a minimum of 30% of the frontage of the lot, and include:
- One additional feature tree with a minimum height of 1.5m.
- All garden beds are to be edged and mulched.
- Turf is to be provided between the front building line and kerb-line, except where an alternative landscape treatment is provided.
- All landscaping to the front of the property is to be completed within three (3) months of handover from the builder.

FENCING AND RETAINING WALLS

Front Fencing

In order to ensure a predominance of landscaping in front of homes, 'soft' enclosures and demarcations of the front property boundary (e.g. hedges, landscape planting, etc) are encouraged.

Any fencing provided forward of the front wall of the home must include:

- Rendered and/or masonry piers (located at regular intervals) and plinth (a minimum of 300mm high); with matching masonry or other appropriate infill panels.
- Is limited to a maximum of 1.8m in height.
- Gates may be incorporated across the driveway where a front fence is provided.



Corner Lot Side Fencing (Secondary Street Frontage)

Where fencing has not been provided by Stockland to the secondary street frontage, fencing as viewed from the street or public space:

- Is to be a maximum of 1.8m in height;
- May be constructed from rendered masonry to match the style of the front fence when one is provided.
- Where timber fencing is provided, it is to include:
 - Lapped timber palings with a matching top rail;
 - a minimum of 150mm x 150mm hardwood posts, expressed to the street; and
 - be provided with a stained or painted finish.
- Must not include any coloured pre-finished metal sheets or unfinished materials including unfinished commons bricks;
- Where no front fence is used, the secondary street fence must return to the house a minimum of 1m behind the front building line.

Fencing to the Waterfront

- Rear boundary fencing that directly adjoins the waterfront is discouraged. However, fencing that is of a high quality, and provides for high level of transparency may be provided. Acceptable types of fencing to the waterfront include:
 - Black, powder- coated pool type aluminum fencing;
 - Transparent glass panel fencing
 - Stainless- steel or wooden post and wires.

All fencing to the waterfront is to be a maximum of 1.5m in height.



Fencing to Structures over Water

- Fencing around decks extending over the lake must be designed to integrate with any other fencing that is provided along the property waterfront. High quality fencing is important due to the prominent visibility of decks from other properties and needs to provide transparency. Acceptable types of fencing around decks include:
 - Transparent glass panel fencing
 - Stainless- steel or wooden post and wires.

All fencing is to be a maximum of 1.5m in height.

- Fencing to jetties must integrate with the style of fencing to the deck (or the waterfront boundary if no deck is provided).
- Fencing to pontoon gangways is permitted to use standard stainless steel barriers.
- A security gate may be provided to gangways



Side Fencing

- Is to be a maximum of 1.8m in height, but must taper down from the alignment of the rear of the home to match the height of any fence provided along the waterfront.
- Must not include any unfinished materials including unfinished bricks
- Fence return/Gate must be painted a colour to complement the home.
- Where no front fence is used, the side fence must return to the house a minimum of 1m behind the front façade.
- Where the side boundary forms the rear boundary of an adjoining lot, the side fence may continue to the front of the lot.
- Boundary side fencing is not permitted forward of the front build line of the home, unless a full front fence is provided.

Please discuss your proposal fencing with the adjoining owner prior to construction and refer to the relevant 'The Diving Fences' legislation and guidelines in your State and Local Government Area.

Retaining Walls / Raised garden beds

Retaining walls or raised garden beds visible from the street or public space:

- Are limited to 1.8m in height before use of a 0.5m wide landscape terrace;;
- Retaining walls / raised garden beds visible from the street or public area are to be constructed from stone or masonry; and are to complement the quality and finish of the home.

Please discuss proposed retaining walls with your adjoining neighbour prior to construction to ensure that the height of the retaining is appropriate to suit the finished ground levels on adjacent blocks.

EXTERIORS

Screening

- All ground mounted equipment must be screened from public view and must not be visible from any street or public space. This includes but is not limited to heating and cooling units, rubbish disposal containers, swimming pools & equipment, rain water tanks, clothes hoists and washing lines.
- Non-ground mounted equipment items visible from the street or public spaces must be minimal including but not limited to: satellite dishes, TV aerials, external hot water services, water tanks, air conditioning units, heating units, spa and pool pumps, dependent person units etc. Solar panels and collectors for hot water units are the exception to this standard when orientated to maximize their effectiveness.

Outbuildings

The appearance of any outbuildings should be carefully designed:

- they must be constructed in an approved finish to complement the house;
- All outbuilding and garden sheds must be constructed behind the front or secondary street building line unless it can be shown that they are not visible (or can be adequately screened) from the adjacent street or public area.

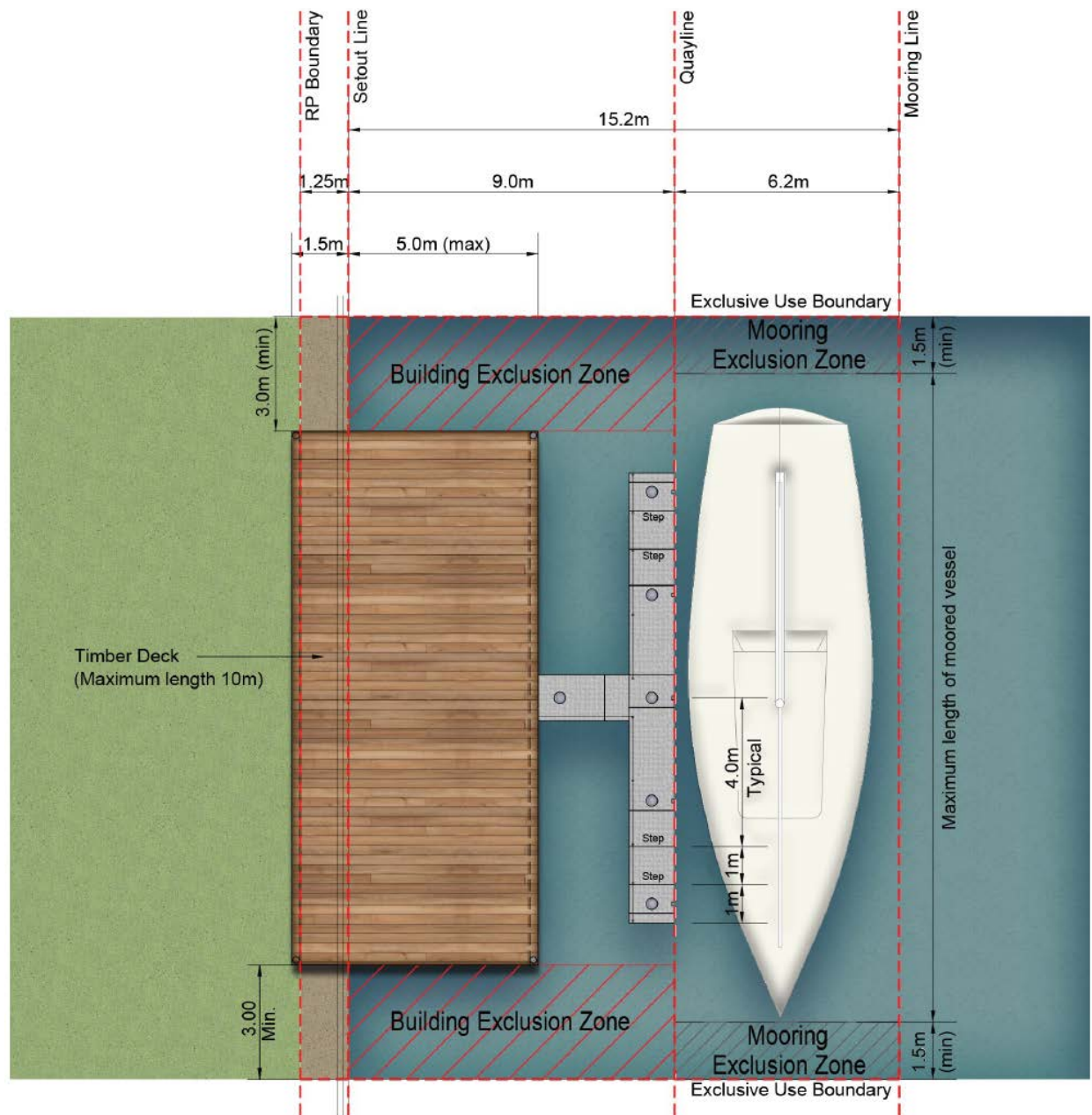
CONSTRUCTION OBLIGATIONS

- Provide a bin or enclosure on site for the duration of the construction period.
- Site cleanliness is to be maintained.
- Where the developer has constructed a fence, entry statement or retaining wall, it is to be maintained by the owner to the standard to which it was constructed.

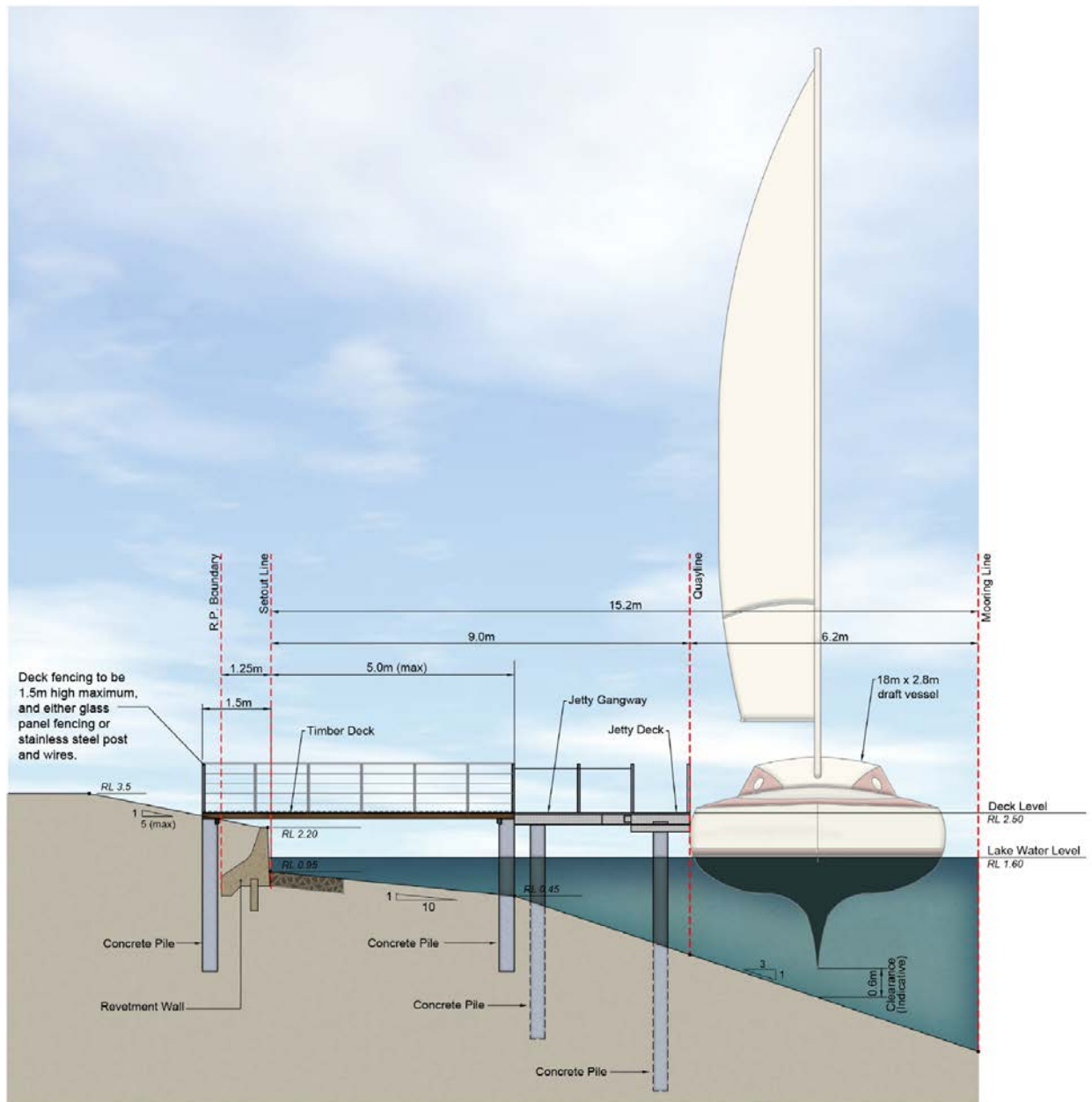
Design Variation

Where designs are proposed that will vary from these Design Guidelines, they will be assessed on their design merit by the Design Review Panel. Variations will only be considered where it can be demonstrated that they still achieve the desired objectives for the creation of an aspirational waterside community in Newport.

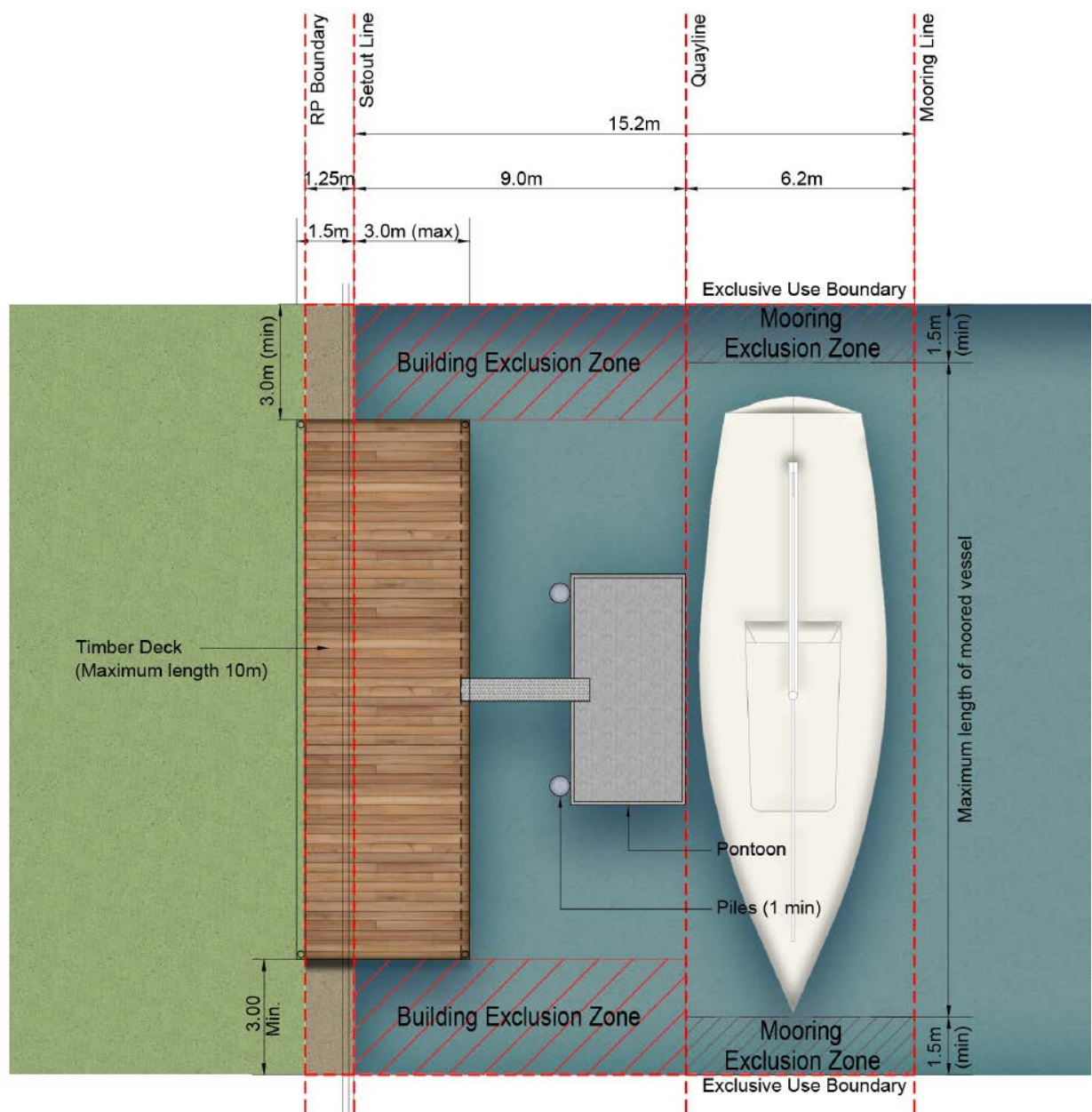
Typical Structure Details – Deck and Jetty (Parallel Mooring – Plan View)



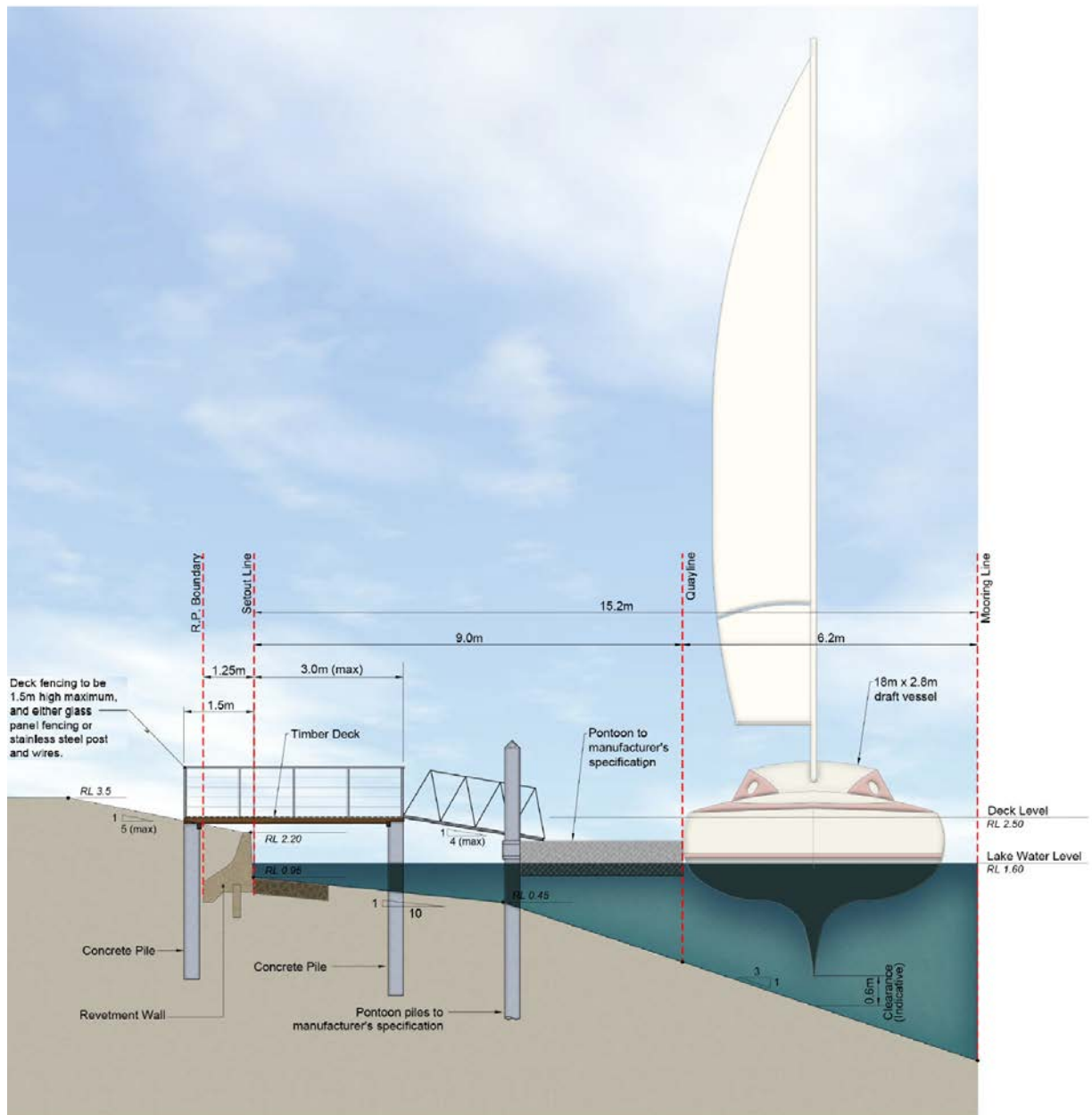
Typical Structure Details – Deck and Jetty
(Parallel Mooring – Elevation)



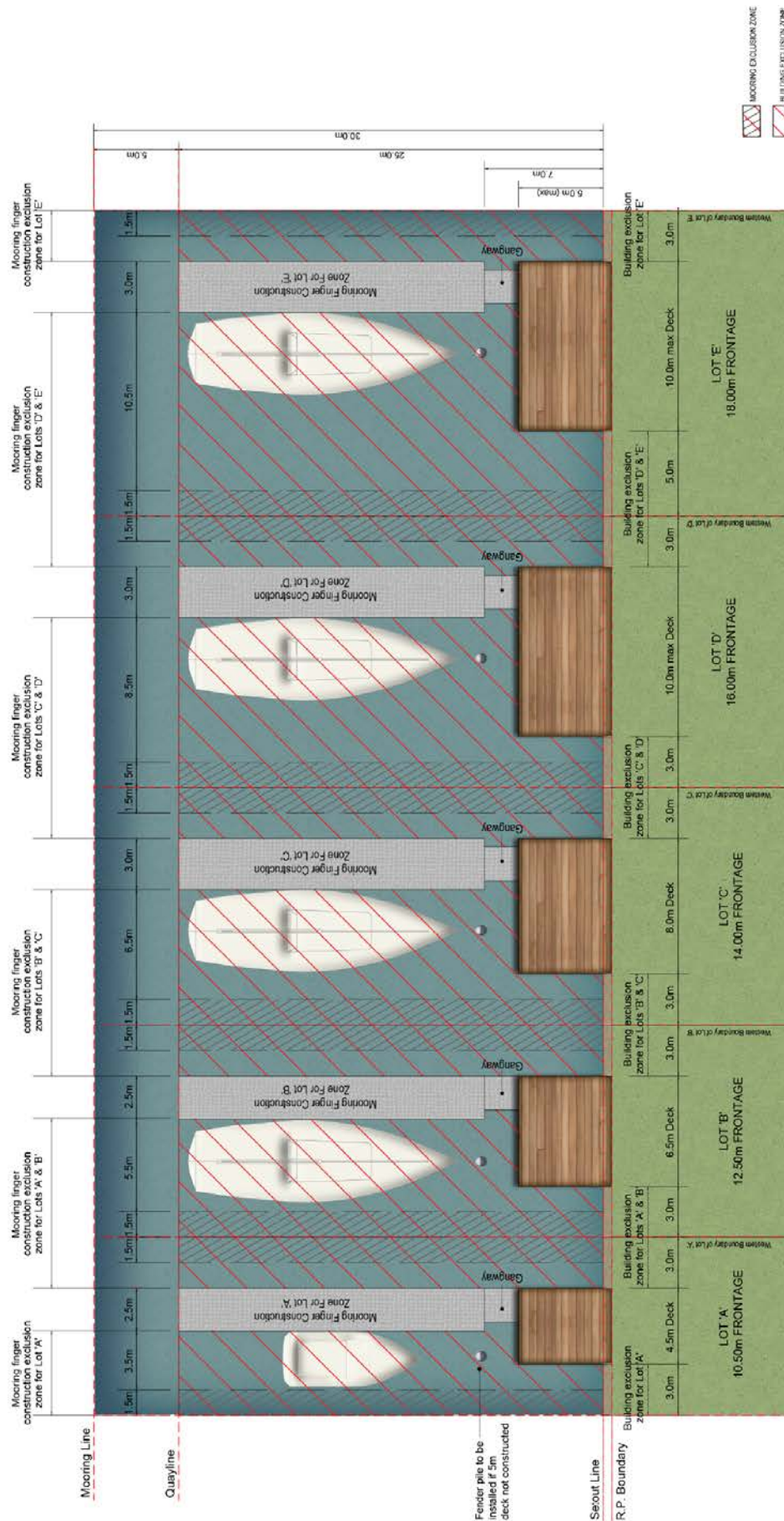
Typical Structure Details – Deck and Pontoon (Parallel Mooring – Plan View)



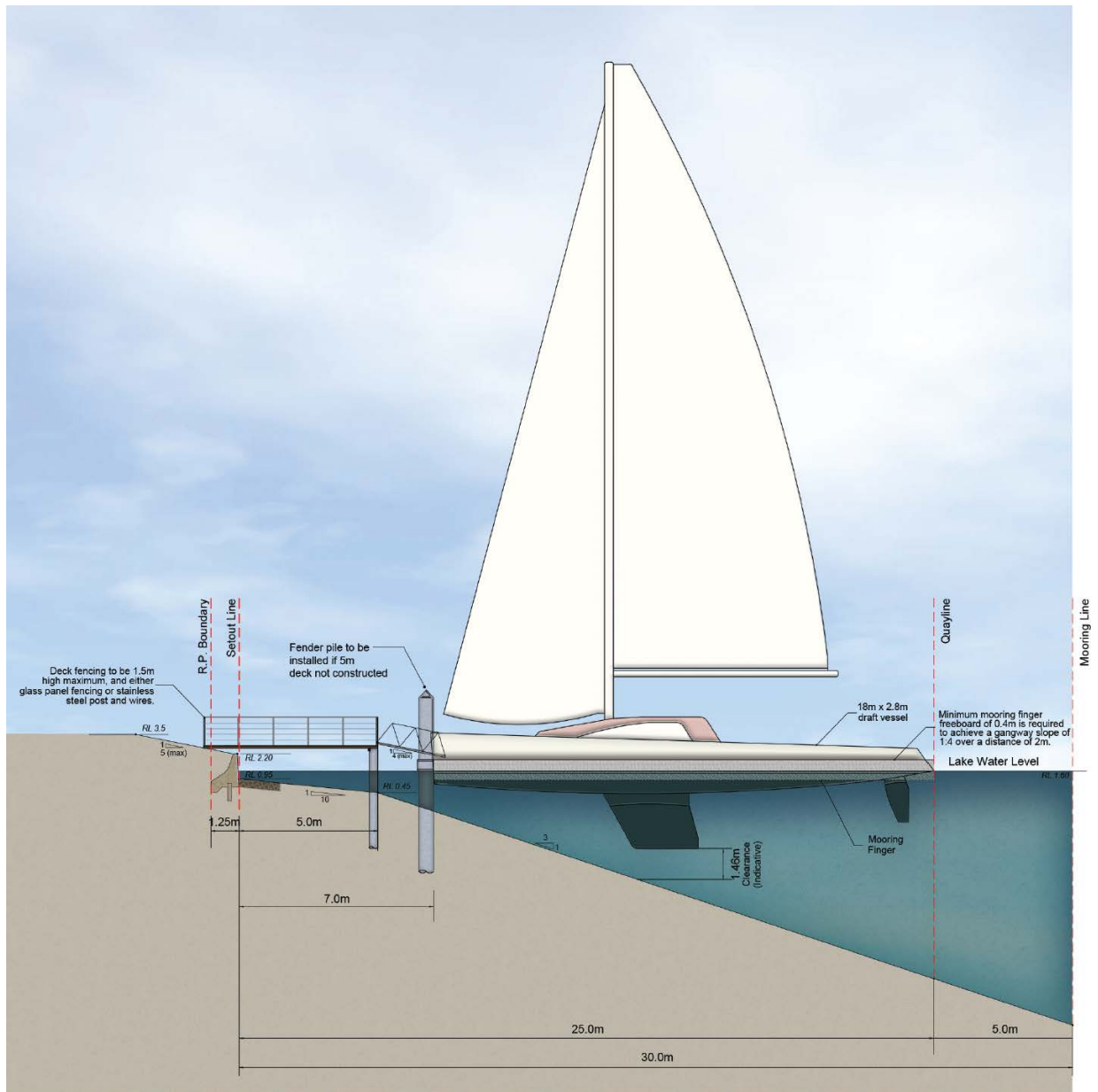
Typical Structure Details – Deck and Pontoon (Parallel Mooring - Elevation)



Typical Structure Details – Deck and Pontoon (Perpendicular Mooring – Plan View)



Typical Structure Details – Deck and Pontoon (Perpendicular Mooring – Elevation)



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