

QUAY RESIDENCES



Stockland



Artist's impression. Subject to change. Information and images relating to landscaping are indicative only and may show mature plantings which may not be mature at settlement. Furniture and accessories are not included.

Quay Residences

Your coastal oasis

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Bask in the beauty and tranquillity of Quay Residences, the latest exquisitely appointed release of eight waterfront townhomes presented by Stockland Newport.

Creatively designed by Hollindale Mainwaring Architecture to maximise incredible light-filled spaces and open plan indoor-outdoor living with views of Newport Lake and beyond; this is waterfront living at its finest.

If you've been searching for a sea change, now is your opportunity to start living the coastal dream. Cool sea breezes, expansive green spaces and widespread walking paths surround a crystal clear lake which leads out to glorious Moreton Bay.

Meander down to the local café where you can enjoy a morning coffee and delicious food, all whilst taking in the idyllic backdrop of glimmering water and state-of-the-art neighbourhood parks.

This is Newport. The perfect coastal life awaiting you.

Prime position

Follow the ocean breeze 29km* north of the Brisbane Airport and you've reached the idyllic, coastal location of Newport. Positioned on the Redcliffe Peninsula, this waterside community offers the sea change you've been searching for.

From beautiful beaches, extensive dining and entertainment options, retail, schools, childcare, hospitals and efficient public transport - Newport is a destination with it all. Enjoy an abundance of neighbourhood parks with family and friends,

breathe in fresh sea air while enjoying the kilometres of bike and trail paths that line Newport Lake, or simply make the most of the beautiful waterside facilities readily available at your doorstep.

With the ease of living that comes with these architecturally designed townhomes in a safe and friendly community, take comfort in knowing that you can simply lock up and leave for a trip to the beach or beyond.



*Map supplied for the purpose of providing an impression of Stockland Newport and the approximate location of existing and proposed third party infrastructure, facilities, amenities, services and destinations, and is not intended to be used for any other purpose. Indications of location, distance or size are approximate and for indicative purposes only. Subject to change. Not to scale.

Prepare to be house proud

Positioned on Newport Lake within the exclusive Quay precinct, stands eight impeccably presented turnkey waterfront townhomes. These luxurious residences offer one of the last remaining opportunities to live in Newport's coveted Quay community.



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Harmonious indoor to outdoor living

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Thoughtful architecturally designed features from HMA comprise of light-filled spaces, a plunge pool and open plan indoor-outdoor living with views of Newport Lake and beyond.

A gentle waterside breeze rolls through the entire residence, acting as a calm reminder of its idyllic coastal position. A picturesque lakeside backdrop and open plan kitchen and living spaces offer the perfect setting for effortless entertaining, or simply relaxing with family.



Everything flows from inside to the outside spaces



Artist's impression. Subject to change. Furniture, plants, accessories and boats are not included. View is indicative only.

The residences at a glance

- Prime waterfront location in Newport's exclusive Quay community
- Only 8 residences available
- Generous bedrooms with built-in robes
- Master wing with walk-in robe and ensuite
- Ducted air conditioning
- Plunge pool and shared private jetty
- Open plan kitchen and living
- High quality appliances and finishes such as stone bench tops, a wine fridge and steam oven
- Oversized large format kitchen or butlers pantry options
- Architecturally designed by HMA
- Built by the renowned team at Hutchinson



Artist's impression. Subject to change. Fridge, furniture, plants and accessories are not included.

Every detail has been meticulously designed



Artist's impression. Subject to change. Fridge, furniture, plants and accessories are not included.

Where quality and design combine

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High quality finishes and detailed design elements prominently feature throughout the home to maximise capacious living areas, promote intelligent storage solutions and provide an effortless flow between spaces.

Built with luxury in mind, each room is finished to the highest standard, so you can enjoy every moment in your dream home easily, and in style.

Start each day refreshed and energised

Wake up every morning to lakeside views and beyond, from the comfort of your fully appointed master wing. Featuring a decadent walk-in robe, your luxuriously spacious bedroom, private balcony and ensuite boast incredible, uninterrupted views out onto Newport Lake.



Artist's impression. Subject to change. Furniture, plants and accessories are not included.



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Combining a light, bright pallet with cutting edge design

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Featuring brushed nickel tapware, reconstituted stone benchtops and Italian porcelain tiles, each bathroom showcases high-end finishes and designer layouts to deliver calm, personal spaces of tranquillity.



Designed with luxury
and effortless living in mind



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Imagine waking up every morning
to this beautiful view

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Make a Quay Residence yours

We will guide you through our easy-to-understand purchase process so you can start dreaming of moving into your new home with no hidden surprises.

What an exciting opportunity to secure an architecturally designed waterfront home, carefully crafted by an award-winning team. We're here to help you through the entire purchasing process, from paying the deposit to moving in, our job is to make everything as simple as possible.



Choose your home and pay your deposit

Choose the design that best suits your needs with advice from our Sales Professional. They'll take you through:

- Plans
- Specifications
- Colour schemes
- External facades

All homes include landscaping, fencing and letterboxes, so you'll be move-in ready.

Once you've chosen your home, a 10% deposit will be payable at contract signing, with the remainder payable at settlement. This means that no additional payments are required until settlement.



While your home is being built

Our customer relations team will provide you with regular updates on the construction of your home and will be available to answer any questions you have during this exciting journey.

We will make an appointment for you to inspect your home prior to settlement.



The settlement process

Settlement of the 90% balance of the contract price will be required at settlement.

A Stockland legal representative will arrange for settlement with your legal representative.



Moving into your new home

On the day of settlement, we will welcome you to your brand-new home.

After settlement, our customer-care commitment includes:

- Rectifying any cosmetic defects within three months
- Providing all trade warranty certificates and operating manuals

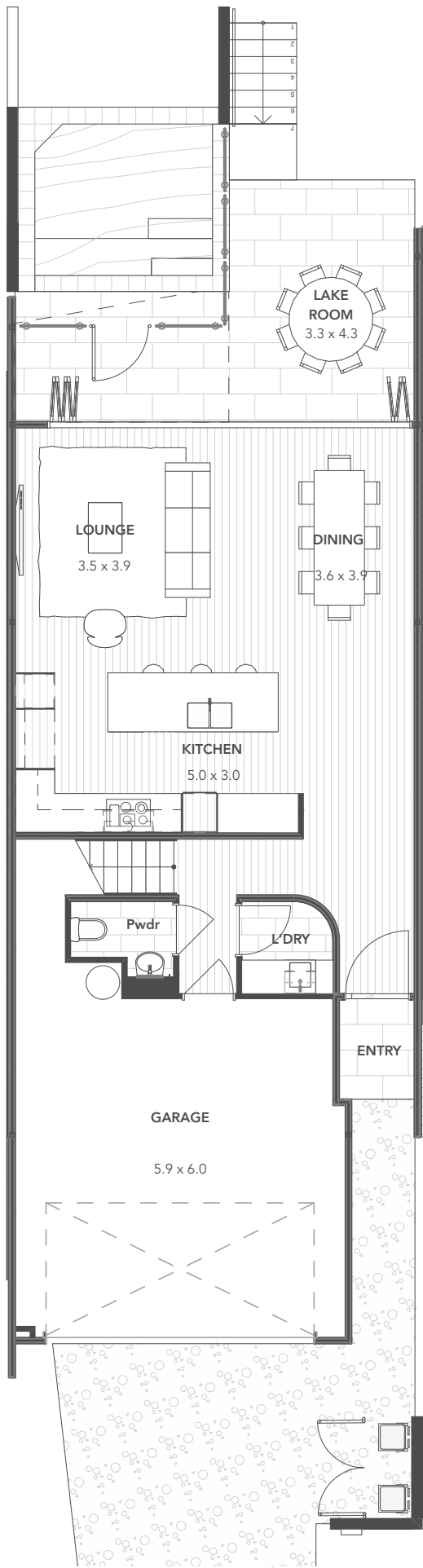


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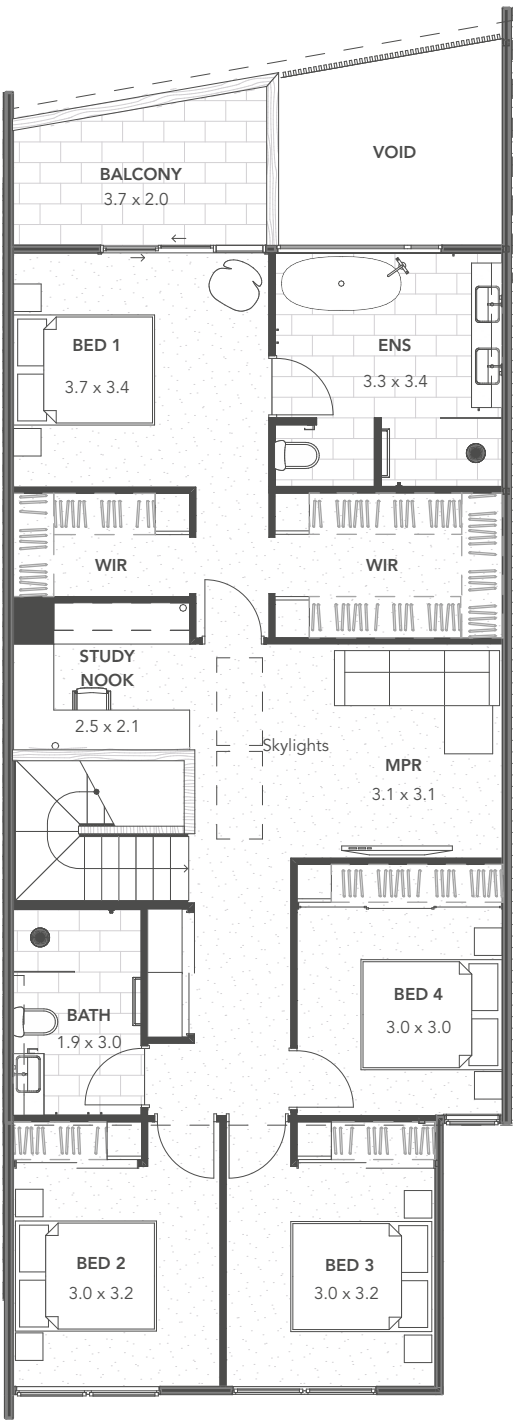
Typical Floorplan



House Area	
Ground Floor	73m ²
First Floor	114m ²
Garage	41m ²
Total House Area	
228m ²	



Ground Floor



First Floor

Indicative floor plan only. Unless otherwise specified, dimensions for external or non-party walls are taken from the outside face of such walls, and dimensions for party walls are taken from the mid-line of such walls. All dimensions and areas are approximate. Furniture, decorative items, plants and the like are shown for indicative purposes only and are not included in the sale. The contract for sale should be reviewed in relation to dimensions, areas, sale inclusions and specifications. Changes to the indicative floor plan may occur in accordance with the terms of the contract for sale.

Specifications

General:

Construction

Combination of timber framing & lightweight construction
Metal roof sheeting

Ceiling Height

2.7m ceilings to all living areas and bedrooms generally (some bulkheads required for services)

Windows & External Doors

Powder coated aluminium windows and external bi-fold and sliding doors
Combination of fixed glass, awning and louvre windows

Heating/Cooling

Ducted reverse cycle air-conditioning to living areas and bedrooms

Front Entry Door

Timber solid core hinged entry door, with key lock

Hot Water Unit

Electric hot water system

Smoke Alarm

Wired smoke alarms to Australian standards

Electrical/Communications

Power points, lights and ceiling fans listed by room below
NBN (FTTP) ready to install

Interior Finishes:

Walls/Ceilings

Walls to all rooms – painted plasterboard
Ceilings to all rooms – painted plasterboard
Architrave and skirting – painted timber

Internal Doors

Painted hollow-core flush panel doors

Door Furniture

Internal swing doors – lever handle in satin chrome finish
Privacy set to Bathroom, Ensuite, Powder and Master Bedroom
Passage set only to all other doors

Floor Coverings

Porcelain tiles to laundry, bathrooms and balcony
Marble tiles to alfresco
Engineered timber to kitchen, living, dining and stairs
Carpet to bedrooms, MPR and study nook

Kitchen:

Cabinets

Laminate fronts with soft close

Drawers

Laminate fronts with soft close

Benchtops

60mm reconstituted stone

Splashback

Reconstituted stone

Sink

Double bowl stainless steel undermount sink

Tapware

Bronze finish gooseneck spout pull out spray sink mixer (WELS 5 Star, 6.0 litres per minute)¹

Appliances

ILVE 900mm induction cooktop
ILVE 600mm black built-in electric pyrolytic oven
ILVE 600mm black built-in electric steam oven
ILVE fully integrated freestanding dishwasher (WELS 5 Star, 12.2 litres per wash)¹
ILVE 900mm ducted undermount rangehood
Vintec 50 bottle built-in wine cellar

Laundry:

Cabinet

Stainless Steel Bowl
20mm reconstituted stone
Laminate fronts with soft close

Tapware

Brushed Nickel finish gooseneck mixer tap (WELS 4 Star, 7.5 litres per minute)¹

Splashback

Tiles

Bathroom/Ensuite:

Vanity

Laminate doors
60mm reconstituted stone benchtop
White vitreous China under-counter basin

Mirror

Mirror door shaving cabinet

Shower Screen

Frameless glass shower screen

Toilet Suite

Close coupled back to wall suite with soft close seat (WELS 4 Star, 4.5/3 litres per flush)¹

Tapware

Brushed nickel finish vanity mixer and spout (WELS 4 Star, 7.5 litres per minute)¹
Brushed nickel finish multifunction overhead shower system (WELS 3 Star, 9 litres per minute)¹
Brushed nickel finish floor mounted bath spout

Walls

Tile and feature tile to walls
Tiled shower niche

Bath

Matte white freestanding bathtub

Other Fixtures

Double brushed nickel finish robe hook
Double brushed nickel finish hand towel rail
Brushed nickel finish toilet roll holder

Powder Room:

Vanity

White ceramic wall hung basin

Specifications

Mirror

Frameless wall mounted with polished edge

Toilet Suite

Brushed nickel finish basin mixer (WELS 4 Star, 7.5 litres per minute)¹

Tapware

Brushed nickel finish basin mixer (WELS 5 Star, 6.0 litres per minute)

Bedrooms:

Walk in Robe (Master Bedroom/s only)

Top shelf with hanging rail and three banks of drawers and open shelves

Built in Robe

Top shelf with hanging rail and one bank of drawers and open shelves
Mirrored sliding doors

Electrical:

Double power points

Master bedroom x 3
Other bedrooms x 2
Living / Dining room x 3
MPR x 2
Study nook x 2
Kitchen x 3
Ensuite x 2
Bathroom x 1
Laundry x 1
Alfresco x 1
Double garage x 2

Single Power points

Microwave space x 1
Fridge space x 1
Wine Fridge x 1

Integrated Telephone/Data point

Living/Dining room x 1
Master bedroom x 1
MPR x 1
Study nook x 1

Free-to-air TV points

Living / Dining room x 1
Master bedroom x 1
MPR x 1
Foxtel ready²

Light Fittings

Internal – LED downlights
Kitchen – Kitchen pendant
Alfresco – LED downlights and Wall lights
Balcony – LED downlights
Double garage – Ceiling mounted fluorescent light
Front entry – Wall mounted LED light or LED downlight
Stairs – Recessed wall lights

Ceiling Fans

All bedrooms x 1
Living room x 1
Alfresco x 1
MPR x 1

Exhaust Fan

Exhaust fans to bathroom, ensuite, powder room and laundry

Stairwell:

Balustrade/Handrail

Timber handrail
Solid balustrade

Double Garage:

Garage Door

Remote controlled door

External:

Taps

Two outdoor taps (front and rear)

Balcony (where applicable)

Semi-frameless glass balustrade

Front entry

Exposed aggregate concrete

Driveway

Exposed aggregate concrete

Clothes line

Fold down clothes line

Landscaping

Fully landscaped with a combination of:
– Garden beds with a mixture of shrubs/plants and mulch (minimum 2 trees);
– Decorative gravel; and/or
– Concrete steppers.

Fencing

Fully fenced (see plan for extent)
A combination of open-style powder coated aluminium fence, painted timber paling fence and bagged and painted blockwork (where applicable)

TV antenna

Digital TV antenna

Letterbox

Letterbox located at front entry gate
All letterboxes are key lockable

Pool

Plunge pool

Pontoon

Finger pontoon

¹ Full WELS information for each WELS product will be provided prior to settlement. Final WELS products will be equal to or more efficient than the specified star rating and flow rate.

² Cable connected to FTA TV points with tail in ceiling space for future connection to Foxtel satellite dish by owner

Quay Residences

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Ready to start your journey?
Contact Stockland today on 1300 619 605,
email newport@stockland.com.au or
visit [Stockland.com.au/QuayResidences](https://stockland.com.au/QuayResidences)



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