## **LEVIDORT** TOWNHOMES



## Join the new wave

Introducing Newport Townhomes, a stunning collection of 3 & 4 bedroom homes located within the highly sought-after Newport waterside community.

Every detail has been carefully considered to deliver a high standard of both style and functionality, where maintenance is kept to a minimum so you can spend more time enjoying your coastal lifestyle.

Beautifully appointed interiors and high quality finishes create a home that you'll love to live in.

Artist's impression. Subject to change. Furniture, fridge and accessories are not included. All inclusions are standard inclusions which are included in the sale. Information and images relating to landscaping are indicative only and may show mature plantings which may not be mature at settlement. Stockland reserves the right to make changes to the information contained in this document at any time prior to you entering into a contract for sale with Stockland. Customers should review the inclusions contained in the contract for sale.

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## **Prime position**

Located on the Redcliffe peninsula, Newport is a place where the city meets the sea in an ideal fusion of worlds – close enough to see Brisbane's twinkling skyline at night, but far enough away to escape the hustle and bustle. With sweeping bay views, creative spaces for playing and bike trails for exploring, this is the waterside lifestyle you have dreamed of.

Everything you need is close to home. From pristine beaches and premier golf courses, to an abundance of dining and entertainment options, retail destinations, schools, childcare, hospitals and efficient public transport, it's all here.

It's easy to lean into the relaxed coastal lifestyle and spend your energy doing the things you truly love. Because the townhomes are designed for ease of living, you'll have more time to enjoy life in your home and get out and enjoy nature and the thriving community around you. No more worrying about lawns or acreage to maintain, you can focus on spending time with your family in your waterside community.

Plus, you can lock up and leave at any point – whether it's to pop out to the beach or to jet off on a holiday.











# Buying your new townhome is made easy at Stockland

At Stockland, we guide you through our easy-to-understand purchase process so you can start dreaming of moving into your new home with no hidden surprises.

We're here to help you through the entire purchasing process, from paying the deposit to moving in – our job is to make everything as easy as possible.

We help you choose the design of your home, and, once you're happy, we take a deposit. No additional payments are required until settlement – giving you more time to save for your home.

During the build, we'll be in touch to keep you up-to-date with your home's progress and once everything is completed, you'll have up to 14 days to pay the settlement of the balance.

Then, you're ready to turn the key to the door of your new, ready-to-move-in home!



#### 1. Choose your home and pay your deposit

Choose the design that best suits your needs with advice from our Sales Professional. They'll take you through:

Specifications
Colour schemes
Plans

All homes include landscaping, fencing and letterboxes, so you'll be move-in ready.

Once you've chosen your home, a deposit will be payable at contract signing, with the balance payable at settlement. Once you've paid your deposit, no additional payments are required until settlement – giving you more time to save for your new home.



### 2. While your home is being built

Our customer relations team will provide you with regular updates on the construction of your home and will be available to answer any questions you have during this exciting journey.

We will make an appointment for you to inspect your home prior to settlement.



### 3. The settlement process

Settlement of the balance of the contract price will be required at settlement.

A Stockland legal representative will arrange for settlement with your legal representative.



### 4. Moving into your new home

On the day of settlement, we will welcome you to your brand-new home.

After settlement, our customer-care commitment includes:

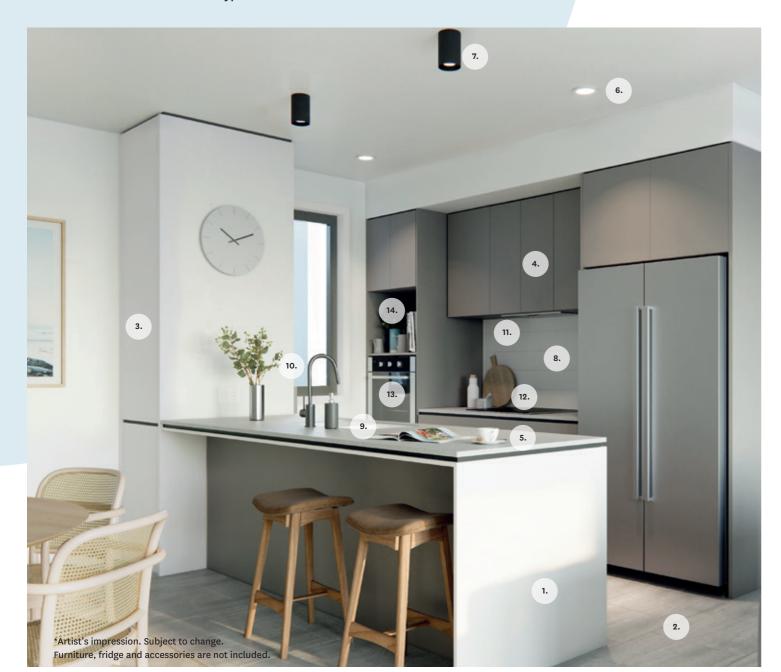
- Rectifying any cosmetic defects within three months.
- Providing all trade warranty certificates and operating manuals.

# The heart of the home

Colour scheme: Dawn House type shown: Bronte

You can choose between the fresh tones of our Dawn colour scheme or cooler Dusk shades to create the perfect mood in your kitchen – the heart of every home. Complete with quality appliances, beautiful finishes, island bench, clever storage solutions and more, from the day you move in entertaining will be a breeze.

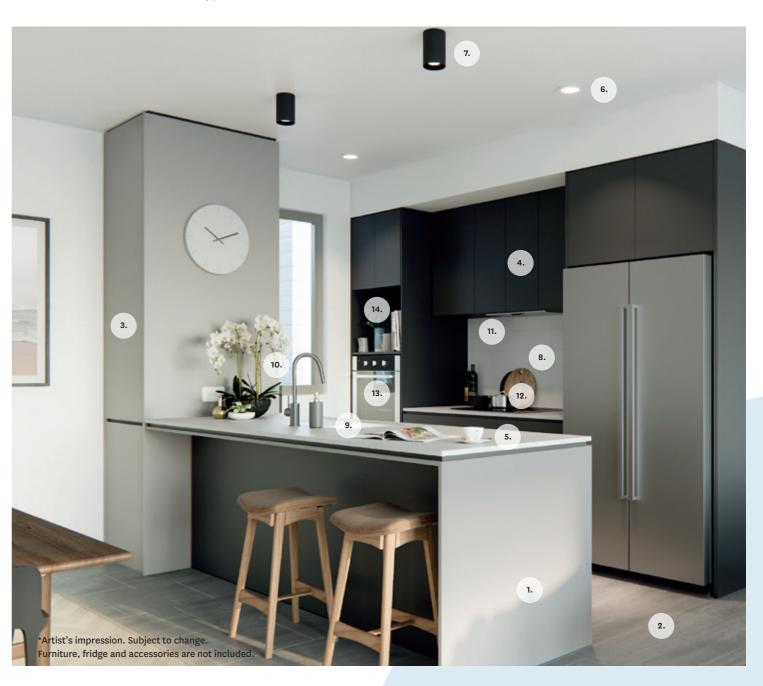
Colour scheme: Dusk House type shown: Bronte



- 1. Laminate joinery
- 2. Tiled floors
- 3. Additional storage
- 4. Overhead storage with soft close
- 5. 20mm reconstituted stone benchtop

- 6. LED downlights
- 7. Feature LED downlights
- 8. Feature tile splashback
- 9. Undermount double bowl stainless sink

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- 10. Gooseneck brushed nickel spout sink mixer<sup>1</sup>
- **11.** Omega 600mm integrated rangehood
- 12. Omega 600mm electric cooktop
- **13.** Omega 600mm stainless steel built-in electric oven

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14. Space for your microwave

#### Not shown:

Deep storage drawers with soft close Omega dishwasher<sup>2</sup>

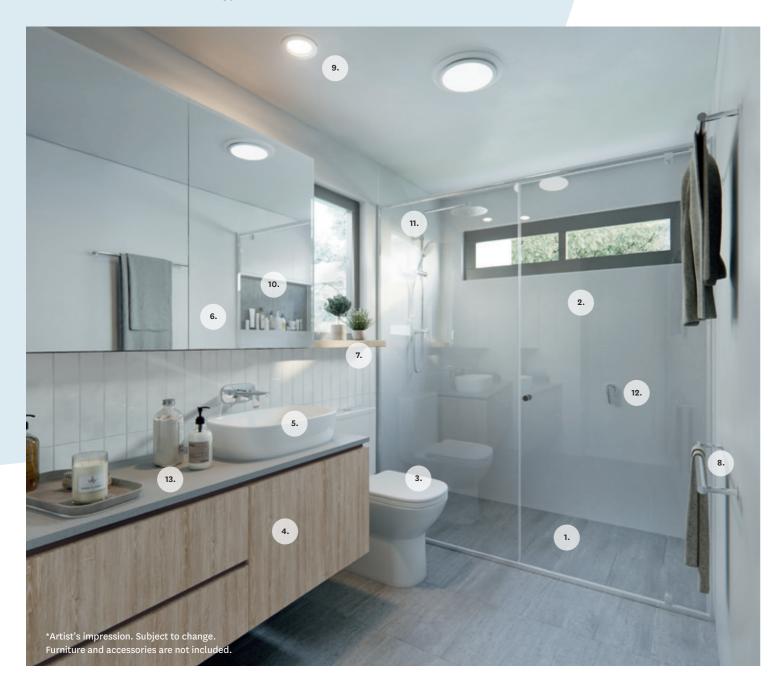
<sup>1</sup>WELS 4 Star, 7.5 litres per minute <sup>2</sup> WELS 3.5 Star, 13.5 litres per wash

Full WELS information for WELS products will be provided prior to settlement. Final WELS products will be equal to or more efficient than the specified star rating and flow rate.

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# Little touches of luxury

Colour scheme: Dawn House type shown: Bronte



- 1. Semi frameless shower screens
- **2.** Full height tiles to shower recesses
- 3. Back-to-wall toilet suite with soft close seat<sup>1</sup>
- 4. Wall mounted laminate vanity cupboard and drawers

5. White ceramic above-counter basin

- ••••••
- 6. Mirror fronted overhead cabinets (ensuites only)
- 7. Laminate side shelf (full width to main bathrooms)
- 8. Chrome finished towel rail
- **9.** LED downlights
- 10. Tiled shower niche

Our beautifully designed bathrooms – in either Dusk or Dawn colour schemes – offer luxurious touches and ample storage. The bright, clean lines are created to offer maximum sophistication. It's a space you will love to be in.

#### Colour scheme: Dusk House type shown: Bronte



**11.** Chrome finish multifunction shower rail with rain head and detachable shower rose<sup>2</sup>

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- **12.** Chrome finish shower mixer get the temperature right just before you get in
- **13.** 20mm reconstituted stone benchtop
- **14.** Chrome finish vanity mixer<sup>3</sup>

#### Not shown:

Chrome finish toilet holder Chrome finish robe hooks Chrome finish hand towel rail

<sup>1</sup>WELS 4 Star, 4.5/3 litres per flush 2WELS 3 Star, 9 litres per minute 3WELS 4 Star, 7.5 litres per minute

Full WELS information for WELS products will be provided prior to settlement. Final WELS products will be equal to or more efficient than the specified star rating and flow rate.

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### Fixtures, fittings and finishes

#### General:

#### Construction

Combination of timber framing and lightweight cladding Metal roof sheeting

#### **Ceiling Height**

2700m ceilings to all living areas / 2550mm to bedrooms (some bulkheads required for services)

#### Windows & External Doors

Powder coated aluminium windows and external sliding doors Combination of fixed glass, louvre, awning and sliding windows Flyscreens to windows and sliding doors Ground floor louvres include security screen mesh

#### Heating/Cooling

Reverse cycle air-conditioning to living areas and master bedrooms

#### Front Entry Door

Timber solid core hinged entry door, with key lock

Hot Water Unit Electric hot water system

Smoke Alarm Wired smoke alarms to Australian standards

Communications NBN ready to install

#### **Interior Finishes:**

#### Walls/Ceilings

Walls to all rooms - painted plasterboard Ceilings to all rooms - painted plasterboard Architrave & skirting - painted timber

Internal Doors Painted hollow-core flush panel doors

#### Door Hardware

Lever handles in satin chrome finish Privacy set to bathroom, ensuite, powder and master bedroom Passage set only to all other doors

#### Floor Coverings

Tiles to kitchen, laundry, bathrooms, living, dining and alfresco Carpet to bedrooms and stairs Engineered timber floor to kitchen, living, dining and stairs (Apollo only) Hardwood timber decking on balcony (Apollo only)

#### Laundry:

#### Cabinet

Stainless steel bowl Powder coated metal cabinet

#### Tapware

Chrome finish mixer tap (WELS 4 Star, 7.5 litres per minute)\*

#### Splashback

Tile

**Kitchen:** 

#### Cabinets

Laminate fronts with soft close Drawers

Laminate fronts with soft close

Benchtops 20mm reconstituted stone

Tapware Gooseneck brushed nickel spout sink mixer (WELS 4 Star, 7.5 litres per minute)\*

#### Splashback

Tiles

#### Sink

Double bowl stainless steel undermount sink

#### Appliances

Omega 600mm electric cooktop Omega 600mm stainless steel built-in electric oven Omega dishwasher (WELS 3.5 Star, 13.5 litres per wash)\* Omega 600m integrated range hood

#### **Bathroom/Ensuite:**

#### Vanity Laminate doors 20mm reconstituted stone benchtop White ceramic above-counter basin

#### Mirror

Frameless wall mounted with laminate shelf (main bathroom) Mirror door shaving cabinet (ensuite)

**Shower Screen** Semi-frameless glass shower screen with door

#### **Toilet Suite**

Close coupled back to wall suite with soft close seat (WELS 4 Star, 4.5/3 litres per flush)\*

#### Tapware

Chrome finish vanity mixer (WELS 4 Star, 7.5 litres per minute)\* Chrome finish multifunction shower rail (WELS 3 Star, 9 litres per minute)\* Chrome finish bath wall mixer and spout (where applicable) Walls Tiles to shower alcove (2400mm high) Tiled shower niche Feature tiles to vanity wall Painted moisture resistant plasterboard Bath White acrylic built-in bathtub (where applicable) **Other Fixtures** 

Two single chrome finish towel rails Two chrome finish robe hooks Chrome finish hand towel rail Chrome finish toilet roll holder

#### **Powder Room:**

#### Vanity White ceramic wall hung basin (where applicable) Mirror

Frameless wall mounted with polished edge

#### **Toilet Suite**

Close coupled back-to-wall suite with soft close seat (WELS 4 Star, 4.5/3 litres per flush)\*

Tapware Chrome finish basin mixer (WELS 5 Star, 5 litres per minute)\*

#### **Bedrooms:**

Walk-in Robe (Master Bedroom only) Top shelf with hanging rail and two banks of open shelves Built-in Robe (Bedrooms 2, 3 & 4 where applicable) Top shelf with hanging rail and one bank of open shelves One mirrored and one vinyl sliding doors

#### Stairwell:

Balustrade/Handrail Timber handrail Solid balustrade

#### Garage:

**Garage Door** Remote controlled door

#### **External**:

#### Taps

One outdoor tap (where applicable)

#### Balcony (Apollo only)

Semi-frameless glass balustrade, with timber battens and a timber top rail

#### Front Entry

Exposed aggregate concrete

#### Driveway Brushed coloured concrete

**Clothes Line** Fold down clothes line, location shown on floorplan

#### Fencing

Fully fenced (see plan for extent)

A combination of open-style powder coated aluminum fence, painted timber paling fence and bagged and painted blockwork (where applicable)

#### Landscaping

Fully landscaped with a combination of turf, garden beds with a mixture of shrubs/plants and mulch (minimum 1 tree), decorative gravel and/or concrete steppers

#### TV Antenna

Digital TV antenna

#### Letterbox

Letterbox located at front entry gate All letterboxes are key lockable

**Electrical:** 

#### **Double Power Points**

All bedrooms x 2 Living / Dining rooms x 3 Kitchen x 3 Bathroom / Ensuite x1 Laundry x 1 Alfresco x 1 Balcony x1 (Apollo only) Garage x 1

#### Single Power Points

Microwave space x1

### Fridge space x 1

#### Integrated Telephone/Data Point

Living / Dining rooms x 1 Study/MPR x1 (where applicable)

#### **Free-to-air TV Points**

Living / Dining rooms x 1 Master bedroom x 1 Foxtel ready

#### **Light Fittings**

Internal – LED downlights Alfresco - LED downlights Balcony – LED downlights (Apollo only) Garage - Ceiling mounted fluorescent light Front entry - Wall mounted LED light or LED downlight Stairs - Recessed wall lights

#### **Ceiling Fan**

All bedrooms x 1 Living / Dining rooms x 1 Alfresco x 1 Balcony x1 (Apollo only)

#### **Exhaust Fan**

Exhaust fans to bathroom, ensuite, powder room and laundry

\*Full WELS information for each WELS products will be provided prior to settlement. Final WELS products will be equal to or more efficient than the specified star rating and flow rate. This document is supplied solely for the purpose of providing an indicative list and description of inclusions for all townhouses within Stockland Newport, and is not intended to be used for any other purpose. All inclusions are standard inclusions which are included in the sale. Information and images relating to landscaping are indicative only and may show mature plantings which may not be mature at settlement. Stockland reserves the right to make changes to the information contained in this document at any time prior to you entering into a contract for sale with Stockland. Customers should review the inclusions contained in the contract for sale. The contents of this document are based on the intention of, and information available to, Stockland as at the time of publication November 2019 and may change due to future circumstances. If this document is attached to a contract for sale, Stockland reserves the right to make changes to the information contained in this document in accordance with the terms of the contract for sale. Unless this document is attached to a contract of sale: (1) this document is not legally binding on Stockland; (2) Stockland does not give any warranty in relation to any information contained in this document; and (3) Stockland does not accept any liability for loss or damage arising as a result of any reliance on this document or its contents

## Ready to start your journey?

Contact Stockland today on 1300 619 605 or email newport@stockland.com.au



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