



# Newport

TOWNHOMES



Stockland



# Join the new wave

Introducing Newport Townhomes, a stunning collection of 3 & 4 bedroom homes located within the highly sought-after Newport waterside community.

Every detail has been carefully considered to deliver a high standard of both style and functionality, where maintenance is kept to a minimum so you can spend more time enjoying your coastal lifestyle.

Beautifully appointed interiors and high quality finishes create a home that you'll love to live in.



Artist's impression. Subject to change. Furniture, fridge and accessories are not included. All inclusions are standard inclusions which are included in the sale. Information and images relating to landscaping are indicative only and may show mature plantings which may not be mature at settlement. Stockland reserves the right to make changes to the information contained in this document at any time prior to you entering into a contract for sale with Stockland. Customers should review the inclusions contained in the contract for sale.



# Prime position

Located on the Redcliffe peninsula, Newport is a place where the city meets the sea in an ideal fusion of worlds – close enough to see Brisbane’s twinkling skyline at night, but far enough away to escape the hustle and bustle. With sweeping bay views, creative spaces for playing and bike trails for exploring, this is the waterside lifestyle you have dreamed of.

Everything you need is close to home. From pristine beaches and premier golf courses, to an abundance of dining and entertainment options, retail destinations, schools, childcare, hospitals and efficient public transport, it’s all here.

It’s easy to lean into the relaxed coastal lifestyle and spend your energy doing the things you truly love. Because the townhomes are designed for ease of living, you’ll have more time to enjoy life in your home and get out and enjoy nature and the thriving community around you. No more worrying about lawns or acreage to maintain, you can focus on spending time with your family in your waterside community.

Plus, you can lock up and leave at any point – whether it’s to pop out to the beach or to jet off on a holiday.



\*Map supplied for the purpose of providing an impression of Stockland Newport and the approximate location of existing and proposed third party infrastructure, facilities, amenities, services and destinations, and is not intended to be used for any other purpose. Indications of location, distance or size are approximate and for indicative purposes only. Subject to change. Not to scale. All distance and travel timeframe references are estimates only, refer to distance by car or driving time (unless specified otherwise), and are based on information obtained from Google Maps at the time of publication (Nov 2019).



# Architect-designed to be your perfect home

After you choose the home design that best suits your needs and lifestyle, and the colour scheme to complement your taste, we create the home of your dreams for you. As you turn the key in the door on completion, your new home is perfectly set up to start this exciting new chapter of your life. No detail has been overlooked and every need has a solution designed for it by the award-winning HMArchitecture.





# Buying your new townhome is made easy at Stockland

At Stockland, we guide you through our easy-to-understand purchase process so you can start dreaming of moving into your new home with no hidden surprises.

We're here to help you through the entire purchasing process, from paying the deposit to moving in – our job is to make everything as easy as possible.

We help you choose the design of your home, and, once you're happy, we take a deposit. No additional payments are required until settlement – giving you more time to save for your home.

During the build, we'll be in touch to keep you up-to-date with your home's progress and once everything is completed, you'll have up to 14 days to pay the settlement of the balance.

Then, you're ready to turn the key to the door of your new, ready-to-move-in home!



## 1. Choose your home and pay your deposit

Choose the design that best suits your needs with advice from our Sales Professional. They'll take you through:

- Specifications
- Colour schemes
- Plans

All homes include landscaping, fencing and letterboxes, so you'll be move-in ready.

Once you've chosen your home, a deposit will be payable at contract signing, with the balance payable at settlement. Once you've paid your deposit, no additional payments are required until settlement – giving you more time to save for your new home.



## 2. While your home is being built

Our customer relations team will provide you with regular updates on the construction of your home and will be available to answer any questions you have during this exciting journey.

We will make an appointment for you to inspect your home prior to settlement.



## 3. The settlement process

Settlement of the balance of the contract price will be required at settlement.

A Stockland legal representative will arrange for settlement with your legal representative.



## 4. Moving into your new home

On the day of settlement, we will welcome you to your brand-new home.

After settlement, our customer-care commitment includes:

- Rectifying any cosmetic defects within three months.
- Providing all trade warranty certificates and operating manuals.



# The heart of the home

Colour scheme: Dawn    House type shown: Bronte



- 1. Laminate joinery
- 2. Tiled floors
- 3. Additional storage
- 4. Overhead storage with soft close
- 5. 20mm reconstituted stone benchtop

- 6. LED downlights
- 7. Feature LED downlights
- 8. Feature tile splashback
- 9. Undermount double bowl stainless sink

You can choose between the fresh tones of our Dawn colour scheme or cooler Dusk shades to create the perfect mood in your kitchen – the heart of every home. Complete with quality appliances, beautiful finishes, island bench, clever storage solutions and more, from the day you move in entertaining will be a breeze.

Colour scheme: Dusk    House type shown: Bronte



- 10. Gooseneck brushed nickel spout sink mixer<sup>1</sup>
- 11. Omega 600mm integrated rangehood
- 12. Omega 600mm electric cooktop
- 13. Omega 600mm stainless steel built-in electric oven
- 14. Space for your microwave

**Not shown:**  
Deep storage drawers with soft close  
Omega dishwasher<sup>2</sup>

<sup>1</sup>WELS 4 Star, 7.5 litres per minute  
<sup>2</sup> WELS 3.5 Star, 13.5 litres per wash

Full WELS information for WELS products will be provided prior to settlement. Final WELS products will be equal to or more efficient than the specified star rating and flow rate.

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# Little touches of luxury

Colour scheme: Dawn    House type shown: Bronte



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- 1. Semi frameless shower screens
- 2. Full height tiles to shower recesses
- 3. Back-to-wall toilet suite with soft close seat<sup>1</sup>
- 4. Wall mounted laminate vanity cupboard and drawers
- 5. White ceramic above-counter basin
- 6. Mirror fronted overhead cabinets (ensuites only)
- 7. Laminate side shelf (full width to main bathrooms)
- 8. Chrome finished towel rail
- 9. LED downlights
- 10. Tiled shower niche

Our beautifully designed bathrooms – in either Dusk or Dawn colour schemes – offer luxurious touches and ample storage. The bright, clean lines are created to offer maximum sophistication. It’s a space you will love to be in.

Colour scheme: Dusk    House type shown: Bronte



\*Artist's impression. Subject to change.  
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- 11. Chrome finish multifunction shower rail with rain head and detachable shower rose<sup>2</sup>
- 12. Chrome finish shower mixer – get the temperature right just before you get in
- 13. 20mm reconstituted stone benchtop
- 14. Chrome finish vanity mixer<sup>3</sup>

**Not shown:**  
Chrome finish toilet holder  
Chrome finish robe hooks  
Chrome finish hand towel rail

<sup>1</sup>WELS 4 Star, 4.5/3 litres per flush  
<sup>2</sup>WELS 3 Star, 9 litres per minute  
<sup>3</sup>WELS 4 Star, 7.5 litres per minute

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# Fixtures, fittings and finishes

## General:

### Construction

Combination of timber framing and lightweight cladding  
Metal roof sheeting

### Ceiling Height

2700m ceilings to all living areas / 2550mm to bedrooms  
(some bulkheads required for services)

### Windows & External Doors

Powder coated aluminium windows and external sliding doors  
Combination of fixed glass, louvre, awning and sliding windows  
Flyscreens to windows and sliding doors  
Ground floor louvres include security screen mesh

### Heating/Cooling

Reverse cycle air-conditioning to living areas and master bedrooms

### Front Entry Door

Timber solid core hinged entry door, with key lock

### Hot Water Unit

Electric hot water system

### Smoke Alarm

Wired smoke alarms to Australian standards

### Communications

NBN ready to install

## Interior Finishes:

### Walls/Ceilings

Walls to all rooms – painted plasterboard  
Ceilings to all rooms – painted plasterboard  
Architrave & skirting – painted timber

### Internal Doors

Painted hollow-core flush panel doors

### Door Hardware

Lever handles in satin chrome finish  
Privacy set to bathroom, ensuite, powder and master bedroom  
Passage set only to all other doors

### Floor Coverings

Tiles to kitchen, laundry, bathrooms, living, dining and alfresco  
Carpet to bedrooms and stairs  
Engineered timber floor to kitchen, living, dining and stairs (Apollo only)  
Hardwood timber decking on balcony (Apollo only)

## Laundry:

### Cabinet

Stainless steel bowl  
Powder coated metal cabinet

### Tapware

Chrome finish mixer tap (WELS 4 Star, 7.5 litres per minute)\*

### Splashback

Tile

## Kitchen:

### Cabinets

Laminate fronts with soft close

### Drawers

Laminate fronts with soft close

### Benchtops

20mm reconstituted stone

### Tapware

Gooseneck brushed nickel spout sink mixer  
(WELS 4 Star, 7.5 litres per minute)\*

### Splashback

Tiles

### Sink

Double bowl stainless steel undermount sink

### Appliances

Omega 600mm electric cooktop  
Omega 600mm stainless steel built-in electric oven  
Omega dishwasher (WELS 3.5 Star, 13.5 litres per wash)\*  
Omega 600m integrated range hood

## Bathroom/Ensuite:

### Vanity

Laminate doors  
20mm reconstituted stone benchtop  
White ceramic above-counter basin

### Mirror

Frameless wall mounted with laminate shelf (main bathroom)  
Mirror door shaving cabinet (ensuite)

### Shower Screen

Semi-frameless glass shower screen with door

### Toilet Suite

Close coupled back to wall suite with soft close seat  
(WELS 4 Star, 4.5/3 litres per flush)\*

### Tapware

Chrome finish vanity mixer (WELS 4 Star, 7.5 litres per minute)\*  
Chrome finish multifunction shower rail (WELS 3 Star, 9 litres per minute)\*  
Chrome finish bath wall mixer and spout (where applicable)

### Walls

Tiles to shower alcove (2400mm high)  
Tiled shower niche  
Feature tiles to vanity wall

Painted moisture resistant plasterboard

### Bath

White acrylic built-in bathtub (where applicable)

### Other Fixtures

Two single chrome finish towel rails  
Two chrome finish robe hooks  
Chrome finish hand towel rail  
Chrome finish toilet roll holder

## Powder Room:

### Vanity

White ceramic wall hung basin (where applicable)

### Mirror

Frameless wall mounted with polished edge

### Toilet Suite

Close coupled back-to-wall suite with soft close seat  
(WELS 4 Star, 4.5/3 litres per flush)\*

### Tapware

Chrome finish basin mixer (WELS 5 Star, 5 litres per minute)\*

## Bedrooms:

### Walk-in Robe (Master Bedroom only)

Top shelf with hanging rail and two banks of open shelves

### Built-in Robe (Bedrooms 2, 3 & 4 where applicable)

Top shelf with hanging rail and one bank of open shelves  
One mirrored and one vinyl sliding doors

## Stairwell:

### Balustrade/Handrail

Timber handrail  
Solid balustrade

## Garage:

### Garage Door

Remote controlled door

## External:

### Taps

One outdoor tap (where applicable)

### Balcony (Apollo only)

Semi-frameless glass balustrade, with timber battens and a timber top rail

### Front Entry

Exposed aggregate concrete

### Driveway

Brushed coloured concrete

### Clothes Line

Fold down clothes line, location shown on floorplan

### Fencing

Fully fenced (see plan for extent)

A combination of open-style powder coated aluminum fence, painted timber paling fence and bagged and painted blockwork (where applicable)

### Landscaping

Fully landscaped with a combination of turf, garden beds with a mixture of shrubs/plants and mulch (minimum 1 tree), decorative gravel and/or concrete steppers

### TV Antenna

Digital TV antenna

### Letterbox

Letterbox located at front entry gate  
All letterboxes are key lockable

## Electrical:

### Double Power Points

All bedrooms x 2  
Living / Dining rooms x 3  
Kitchen x 3  
Bathroom / Ensuite x 1  
Laundry x 1  
Alfresco x 1  
Balcony x 1 (Apollo only)  
Garage x 1

### Single Power Points

Microwave space x 1  
Fridge space x 1

### Integrated Telephone/Data Point

Living / Dining rooms x 1  
Study/MPR x 1 (where applicable)

### Free-to-air TV Points

Living / Dining rooms x 1  
Master bedroom x 1  
Foxtel ready

### Light Fittings

Internal – LED downlights  
Alfresco – LED downlights  
Balcony – LED downlights (Apollo only)  
Garage – Ceiling mounted fluorescent light  
Front entry – Wall mounted LED light or LED downlight  
Stairs – Recessed wall lights

### Ceiling Fan

All bedrooms x 1  
Living / Dining rooms x 1  
Alfresco x 1  
Balcony x 1 (Apollo only)

### Exhaust Fan

Exhaust fans to bathroom, ensuite, powder room and laundry

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# Ready to start your journey?

Contact Stockland today on 1300 619 605 or  
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