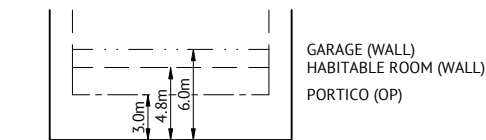
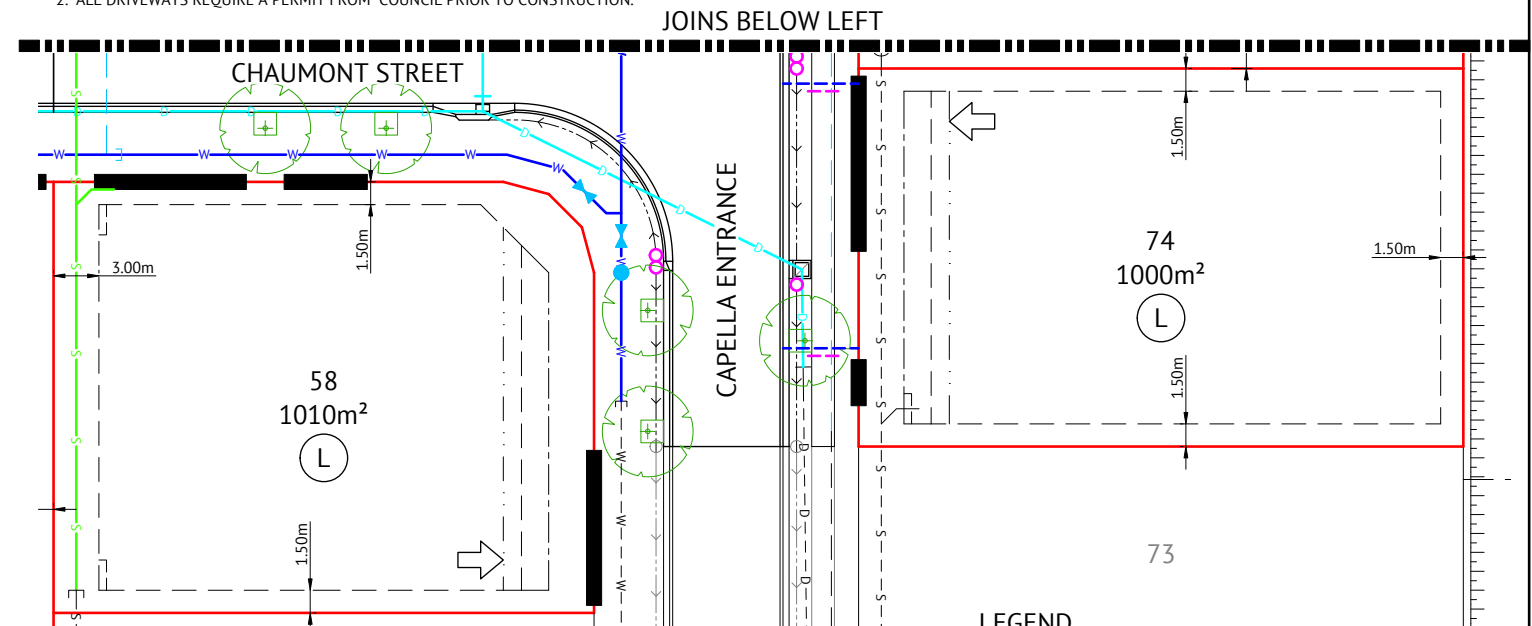


### BUILDING ENVELOPES

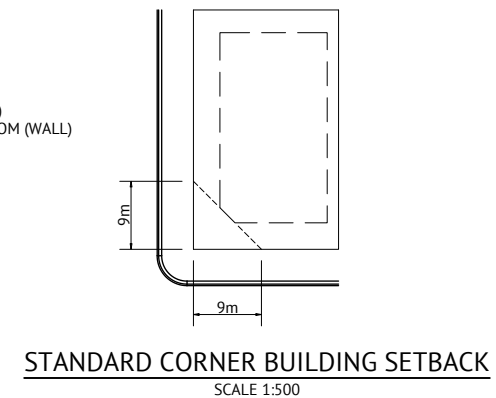
- DIMENSIONS SHOWN ARE ADAPTED FROM THE QUEENSLAND DEVELOPMENT CODE (01.03.06) PART MP 1.2. DIMENSIONS SHOWN SHALL APPLY TO CLASS 1 SINGLE STORY STRUCTURES FOR CLASS 2 TWO STOREY STRUCTURES AND CLASS 10 STRUCTURES REFER TO THE CODE
- THE OUTERMOST PROJECTION (OP) IS A DISTANCE MEASURED FROM THE EDGE OF THE FASCIA BOARD TO THE PROPERTY BOUNDARY.
- THE WALL SETBACK DISTANCE IS A DISTANCE MEASURED FROM THE FACE OF THE WALL TO THE PROPERTY BOUNDARY. NOTE: EAVE OVER HANG MAY PROJECT UP TO 600mm.
- ALL SETBACKS SHOWN ARE MINIMUM DISTANCES AND MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCILS POLICY ON BUILDING OVER ADJACENT SEWERS.

### DRIVEWAY ACCESS ENVELOPES

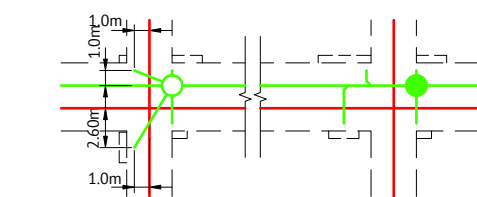
- FOR DRIVEWAY ACCESS ENVELOPES ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE, AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m CLEARANCE.
- ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.



TYPICAL ROAD FRONTAGE  
SETBACK (U.N.O.)



STANDARD CORNER BUILDING SETBACK  
SCALE 1:500



HOUSE CONNECTION DETAIL  
NOTE: MINIMUM 1.0m CLEARANCE FROM END OF SEWER HOUSE CONNECTION TO THE NEAREST POINT OF THE STRUCTURE FOUNDATION OR 2.0m CLEARANCE FROM CONNECTION AT MAIN/CENTRE OF MANHOLE.

### LEGEND

- PORTICO BUILDING ENVELOPE
- HABITABLE ROOM BUILDING ENVELOPE
- GARAGE BUILDING ENVELOPE
- ALLOWABLE DRIVEWAY ACCESS
- STORMWATER DRAINAGE LINE
- SUBSOIL DRAIN & CLEANOUT POINT
- WATER MAIN, FIRE HYDRANT & VALVE
- POLYETHYLENE WATER MAIN
- SEWER MAIN & MANHOLE
- ROOFWATER DRAINAGE LINE
- IRRIGATION CONDUIT
- ACOUSTIC SOUND FENCE
- STREET TREE
- ERGON CABINET
- L LIFESTYLE
- PT PREMIUM TRADITIONAL
- T TRADITIONAL
- PC PREMIUM COURTYARD
- C COURTYARD
- PV PREMIUM VILLA
- V VILLA
- TCE TERRACE
- ← PREFERRED DRIVEWAY LOCATION
- E ABOVE GROUND ERGON CABINET

STAGE 587

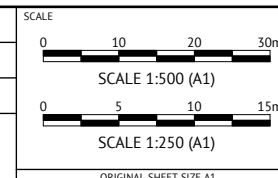
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	DESIGNED	CHECKED	PROJECT MANAGER	ENGINEERING CERTIFICATION
16/11/2020	1	PRELIMINARY - NOT FOR CONSTRUCTION	J.S. REC	A.P. APP		
REVISIONS						



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DESIGNED  
J. STROGUSZ  
CHECKED  
A. PEASE  
PROJECT MANAGER  
A. PEASE  
ENGINEERING CERTIFICATION  
A. PEASE RPEQ 22556



CLIENT  
STOCKLAND DEVELOPMENT PTY LIMITED  
PROJECT  
NORTH SHORE - PRECINCT 5 - STAGE 545 & 587  
LOCATION  
WATERWAY DRIVE, BURDELL  
SHEET TITLE  
BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 1 OF 2

JOB CODE  
STG-0137  
SHEET NUMBER  
C019  
REV  
1