

THE ADDRESS

P O I N T C O O K

Design Guidelines

Contents

01. Introduction	02
02. Precincts	03
03. Design Approval	04
04. Use of Land	05
05. Park Precinct Design Requirements	05
06. Building Envelopes	06
07. Street Setbacks	07
08. Building Heights	08
09. Site Coverage	08
10. Façade Replication	08
11. Entry Features	09
12. Ceiling Heights	09
13. Roof Design	09
14. Façade Materials	10
15. Corner Allotments	11
16. Vehicle Accommodation	12
17. Landscaping	13
18. Driveways	15
19. Fencing	17
20. Letterboxes	19
21. Window Furnishings	19
22. Sheds and Outbuildings	20
23. Roof Mounted Equipment	20
24. External Fixtures	21
25. Definitions	22
Appendix A - Preferred Planting List	23

01. Introduction

STOCKLAND'S COMMITMENT & OBJECTIVE

Stockland's commitment to you is to encourage and showcase quality urban design. Stockland's objective is to create a pleasant living environment that is centred around a strong sense of community and provides a variety of housing solutions to suit a diverse range of lifestyles.

It is important that the design of your home is in keeping with the Design Guidelines outlined in this document.

They have been created to:

- Encourage visually appealing streetscapes.
- Promote environmentally responsible development.
- Provide certainty about the standard of housing.
- Assure you that everyone will contribute equally to achieving a strong neighbourhood character.
- Protect your investment.
- Promote a modern Australian architectural style that responds to the Australian climate and fosters a cohesive streetscape, and
- Deliver on 'The Community Vision'.

THE COMMUNITY VISION

Stockland is presented with a unique opportunity to deliver a high quality community. It will provide for a wide range of high quality public and private facilities and a range of market led housing choices in a variety of landscape settings.

The Design Guidelines outlined in this document allow the implementation of key design principles to deliver a strong sense of place and community.

This community will offer an incomparable range of lifestyle choices, providing an outstanding place set in the signature landscape with memorable landmarks where people will love to live. A place that people will be proud to call home.

PROMOTING GOOD DESIGN

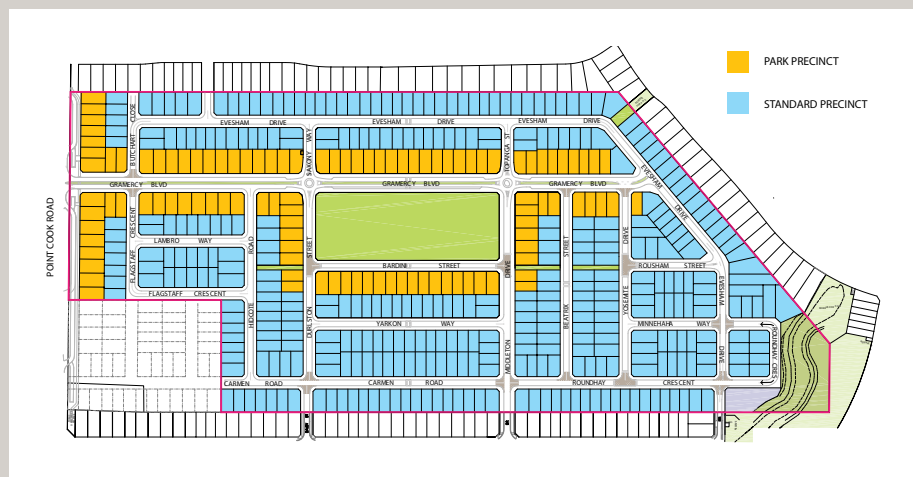
The Design Guidelines encourage a cohesive streetscape whilst promoting variety in house design.

The Guidelines are designed to create a neighbourhood that is visually interesting, promotes diversity and is of a consistent high quality. To achieve this objective the Design Guidelines facilitate good residential design.

By following the Design Essentials carefully you will help to contribute to the creation of a more desirable neighbourhood and enhance the value of your home and community.

02. Precincts

The Address is divided into two precincts for design requirements: the Standard Precinct, which will be the image of contemporary house designs with modern detail, clean lines, simple shapes and providing an uncluttered appearance; and the Park Precinct, surrounding the community's prime asset. The Park Precinct will include additional design requirements to enhance the status of the park and create a grand statement. The use of different materials, façade articulation, varying roof forms and a variety of designs is encouraged in all precincts.



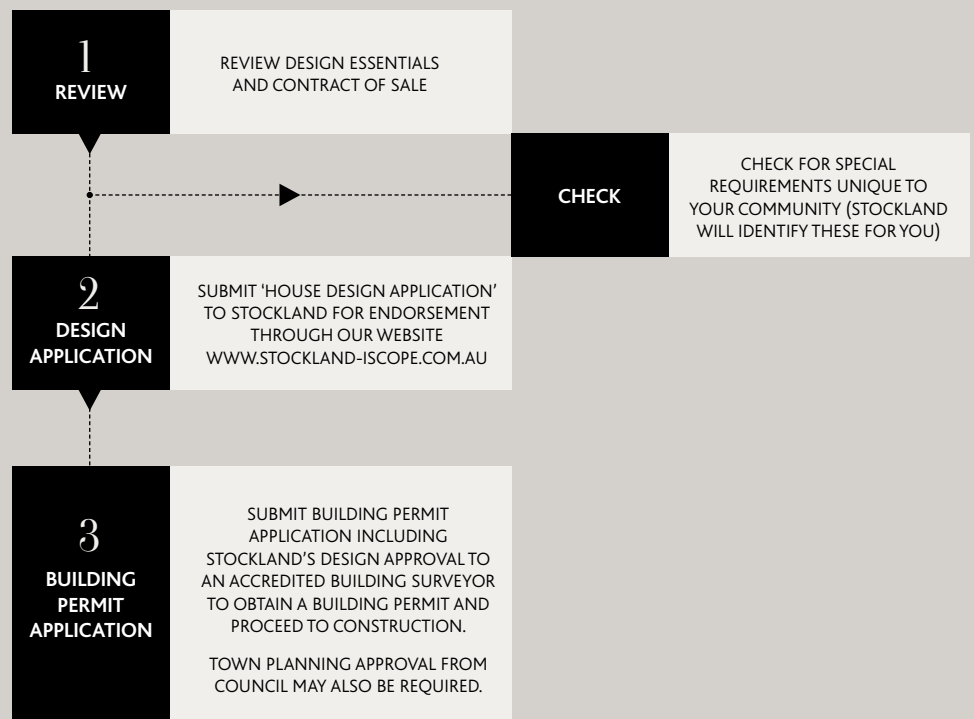
03. Design Approval

SUBMISSION REQUIREMENTS

In order to build, you must apply and have an application package approved by Stockland's Architect. Design Approval by Stockland does not constitute building approval or compliance with building regulations. Upon obtaining Design Approval from Stockland, a building permit must be obtained from the local Council or a private Building Surveyor before construction can commence.

THE PROCESS

Stockland's Architect will endeavour to assess proposals in the shortest possible time, generally within ten business days of receiving all required information for the application. Approved plans will be stamped approved, copied and returned to the applicant or their agent. The progress of the home will be monitored by Stockland to ensure that it conforms with the approved design. All requests for comment from Stockland's Architect, or any other queries, should be directed to the Stockland Customer Relations Coordinator.



DEVELOPER'S RESPONSIBILITY

Whilst Stockland will endeavour to ensure compliance with these Design Guidelines wherever possible, Stockland will not be responsible or liable to any person for any loss, damage or injury arising whether directly or indirectly from any noncompliance with these Design Guidelines.

04. Use of the Land

Unless otherwise specified, only one dwelling is permitted per allotment and the allotment cannot be further sub-divided.

05. Park Precinct Design Requirements

OBJECTIVE

The additional design requirements for the Park Precinct are to enhance the area surrounding the central park and Gramery Boulevard. The intent is to provide a variety of designs that will illuminate the park's features and defines a high standard within the precinct.

PARK PRECINCT CEILING HEIGHTS

- (a) The minimum ceiling height for the single storey and double storey ground floor of a dwelling within the Park Precinct is 2700mm from internal floor level.
- (b) The minimum ceiling height for the first floor of a double storey dwelling is 2550mm from internal floor level.

PARK PRECINCT ROOF DESIGN

- (c) Roof pitch must be 25° minimum for a gabled and hipped roof form.
- (d) Eaves are mandatory to all dwellings located within the Park Precinct. Eaves are required to be provided to the entire dwelling.

PARK PRECINCT FAÇADE MATERIALS

- (e) The front façade for a dwelling within the Park Precinct is to include a minimum of 3 different materials including but not limited to brick, render, stone and timber.
- (f) The front façade for a dwelling within the Park Precinct is to have maximum 25% face brickwork. A calculation of the brickwork should be provided on the plans.

SETBACKS AND SITINGS

OBJECTIVE

The setbacks and siting provide the information of how to site your dwelling on your allotment. The intent is to provide consistency of setbacks throughout the street. Dwellings should be designed to minimise impacting neighbouring properties. Private living areas are encouraged to be located on the northern side of the allotment.

06. Building Envelopes

Front, rear and side setbacks must comply with the building envelope plans for 'Custom' allotments within Stages 6, 7 and 8. Refer to the Plan of Subdivision to confirm which allotments have building envelopes.

07. Street Setbacks

- (a) The minimum setback to the front wall or Outer Most Projection (OMP) of a building from the front boundary is 4 metres. The front boundary is nominated as the boundary with the shorter length. *Refer to Figure 1.*
- (b) A porch, portico or verandah under the height of 3.6 metres, may encroach into the front setback by a maximum of 1.5 metres.
- (c) On allotments with more than one street frontage (i.e.: corner allotment) dwellings must be setback a minimum of 2 metres from the side street boundary. *Refer to Figure 2.*
- (d) On allotments adjacent to pedestrian links or reserves; dwellings are to be setback a minimum of 1 metre from the boundary that abuts the pedestrian link or reserve.
- (e) The front wall of a Garage must be set back a minimum of 840mm behind the front setback determined in point (a) above. *Refer to Figure 1.*
- (f) A single storey dwelling must be setback a minimum 1.2 metres from at least one side boundary. *Refer to Figure 1.*
- (g) A dwelling must be setback a minimum of 3 metres from the rear boundary where the lot depth is 30 metres or above. A setback of 2 metres is permitted on lots less than 30 metres deep.
- (h) A single storey dwelling must be setback from a side boundary in accordance with Part 4 of the Victorian Building Regulations.
- (i) A double storey dwelling must be setback from the side and rear boundary in accordance with Part 4 of the Victorian Building Regulations.
- (j) A Garage or dwelling may be built on or within 200mm of one side boundary only. Wall heights and lengths within 200mm of a side boundary, must be in accordance with Part 4 of the Victorian Building Regulations.

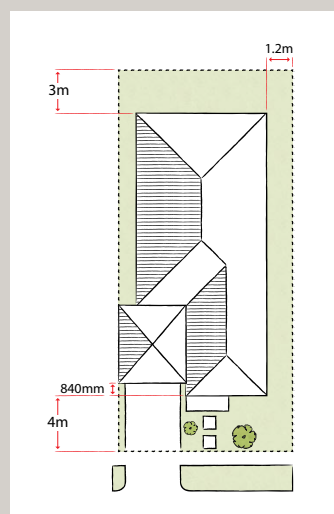


FIGURE 1 FRONT SETBACK

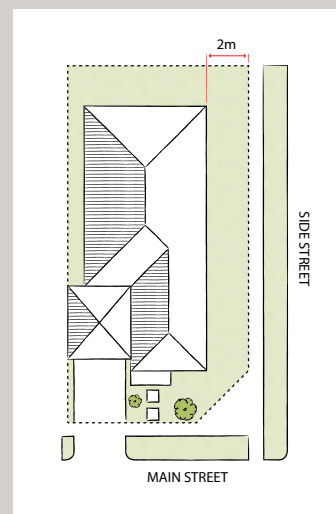


FIGURE 2 SIDE STREET SETBACK

08. Building Heights

The height of a dwelling must be in accordance with Part 4 of the Victorian Building Regulations. A maximum of two stories is permitted for a dwelling.

09. Site Coverage

The dwelling should not exceed site coverage of more than 60% of the allotment. Site coverage does not include unroofed decks, unroofed pergolas, unroofed verandahs, swimming pools, or eaves, fascia and gutters with a total width of 600mm or less.

ARCHITECTURAL DESIGN CONTROLS

OBJECTIVE

The Architectural Design Controls are in place to ensure that high quality designs and finishes are used at The Address. The intention is to ensure the contemporary Australian character of the area is maintained. Dwellings are encouraged to incorporate a high level of articulation to provide an interesting streetscape.

10. Façade Replication

Two dwellings with a similar façade are not permitted to be constructed within five allotments of each other in any direction, unless:

- (a) It is approved in writing by Stockland; and/or
- (b) The house is part of a row of terraced homes or a medium density development.

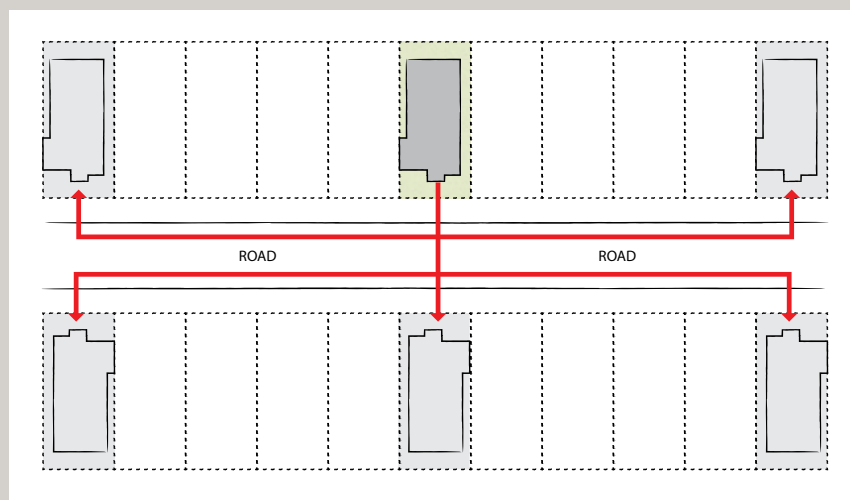


FIGURE 3 FIVE LOT SEPARATION BETWEEN TWO DWELLINGS WITH SIMILAR FAÇADES

11. Entry Features

- (a) An entry structure/feature such as a portico, porch or balcony is required to clearly identify the main entry to the house.
- (b) An entry structure/feature is required to be no less than 1.5 metres wide.
- (c) Entries must be typically located on the front façade. Other options i.e. to the secondary frontage on a corner lot must address the parameters outlined above and will be assessed on architectural merit.

12. Ceiling Heights

The minimum ceiling height for a dwelling is 2550mm from the internal floor level.

13. Roof Design

- (a) Roof pitch must be 22.5° minimum for gabled and hipped roof forms.
- (b) Flat roofs will be assessed on their architectural merit by the Stockland's Architect.
- (c) Roofs constructed of tiles must be Terracotta, slate or concrete tiles.
- (d) Colorbond roofing is permitted. Other non-reflective roof material permitted subject to Stockland's Architect approval. Zinalume corrugated iron sheeting is prohibited.
- (e) Roof colours are to be of neutral tones.
- (f) Eaves are mandatory to frontages presenting to the street. Eaves are to be a minimum depth of 450mm, with a minimum 1000mm return. Corner, reserve or pedestrian link allotments are required to have an eave return for the full length of the elevation facing the corner, reserve or pedestrian link.

14. Façade Materials

- (a) Dwellings should incorporate a variety of materials to the façade.
- (b) The external colour scheme of your home should be neutral tones that blend in with the surrounding environment. Muted tones are preferred. *Refer to Figure 4.*
- (c) A minimum 15% feature material is required to be used to the front façade. Suggested feature materials are render, timber cladding, and stacked stone. Feature materials are to be designed as a contrast to the brickwork and should enhance the area to which it is used.
- (d) Lightweight infill materials are not permitted above windows and doors. This includes, but not limited to: FC cement sheeting, Hardiflex cladding or similar. The material used should match the adjoining surface.
- (e) Unpainted metalwork is not permitted.
- (f) Downpipes, Gutters and Fascia should be colour coordinated with the remainder of the façade.

EXAMPLE COLOUR PALETTE



FIGURE 4 IMAGES COURTESY OF PORTER DAVIS AND METRICON HOMES

15. Corner Allotments

- (a) Dwellings located on corners and reserves are required to address both the main street frontage and the corner or adjoining reserve. *Refer to Figure 5.*
- (b) As a minimum the elevation facing either a corner or reserve is required to have 2 habitable room feature windows to match that of the façade. Highlight windows are discouraged and may be refused. Particular attention to detail should be given to windows forward of side corner street fencing.
- (c) First floor windows on double storey dwellings visible to a side street or reserve are required to match that of the façade.
- (d) A variety of colours and articulation is required to the secondary street to return a minimum of 3 metres.



FIGURE 5 CORNER TREATMENT EXAMPLE

16. Vehicle Accommodation

- (a) Garages must not protrude past the front wall of the dwelling.
- (b) Garages must be setback from the front boundary by a minimum of 5.5 metres where the lot is 30 metres deep or above. *Refer to Figure 6.* Where the lot is less than 30 metres deep, this requirement does not apply.
- (c) The front wall of a Garage must be set back a minimum of 840mm behind the main building alignment. *Refer to Figure 6.*
- (d) The maximum external width of a garage must not exceed 7 metres.
- (e) Triple Garages are prohibited.
- (f) Garage doors facing a street frontage must be panel style and colour coordinated with the dwelling. *Refer to Figure 7.*
- (g) Garage roller doors are not permitted where they are visible from a street or reserve. *Refer to Figure 7.*
- (h) Carports are not permitted where they are visible from a street or reserve.

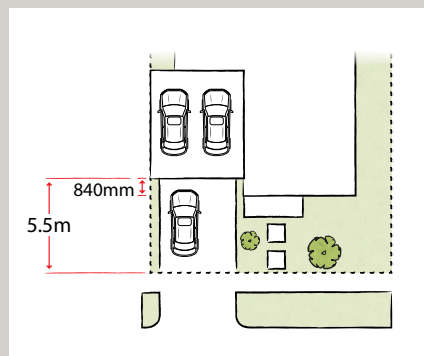


FIGURE 6 MINIMUM GARAGE SETBACK FOR LOTS 30M DEEP OR GREATER

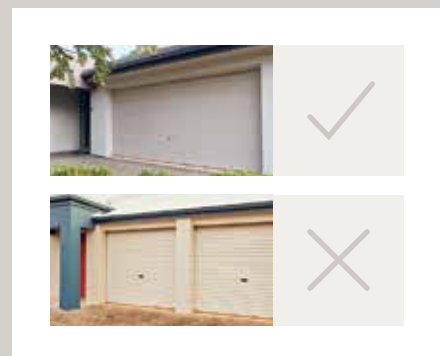


FIGURE 7 ACCEPTED PANEL-LIFT DOOR. STANDARD ROLLER DOORS NOT PERMITTED

DRIVEWAYS, FENCING AND LANDSCAPING

OBJECTIVE

Landscaping is the fundamental element to creating quality streetscapes and ultimately provides the final character and value to the home. The Address encourages lush and manicured landscapes where grasses and garden beds should dominate the design to soften the built form of the dwelling within the streetscape.

17. Landscaping

- (a) A typical front yard landscape layout is provided at *Figure 8*, and a corner lot layout at *Figure 9*.
- (b) Impermeable areas (hard surfaces) should not dominate front yard designs and should be limited to essential areas such as driveways and pathways.
- (c) Garden edging such as planting strips and hedges should be used to define the boundaries of the front yard.
- (d) Irrigation is to be provided to the front yard and nature strips as part of the landscape design and included on the plans. A conduit will be provided under the footpath to allow irrigation to connect from the front yard to the nature strip. A programmable timer system is to be installed to run irrigation. The use of irrigation will be governed by local water restrictions.
- (e) Use of synthetic or fake turf is not permitted.
- (f) At least one tree is required to be included in the front garden.
- (g) Planting density is to be appropriate so as to achieve cover within five years of planting.
- (h) A list of preferred planting species is available at *Appendix A*.
- (i) The Vendor will level, topsoil and seed the nature strips. It is the responsibility of the lot owner to establish and provide ongoing maintenance of the grass planting and street trees within nature strips (to all frontages for corner lots). The only permitted treatment of nature strips is the grass and planting installed by the Vendor. Woodchips, gravel, crushed rock or other treatments are not permitted.
- (j) It is encouraged that gardens and nature strips are maintained by you once installed. This includes weeding, mowing, clearing debris and rubbish. Grass should not be more than 30mm high.
- (k) Where the property is intended to be used for investment/rental purposes, it is the owner's responsibility to ensure that the front landscaping and nature strips are maintained to the approved standard.

17. Landscaping – Continued

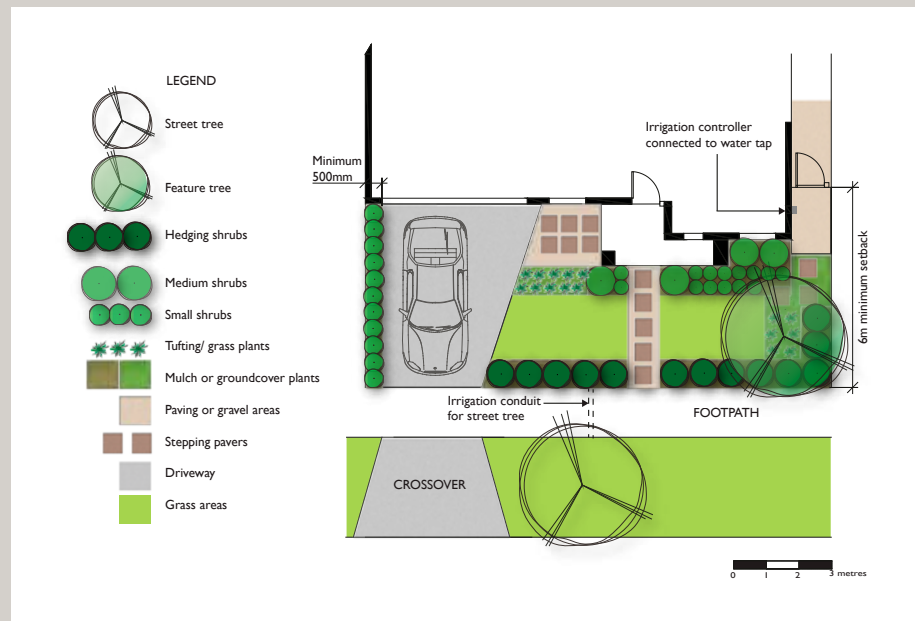


FIGURE 8 EXAMPLE OF FRONT LANDSCAPING

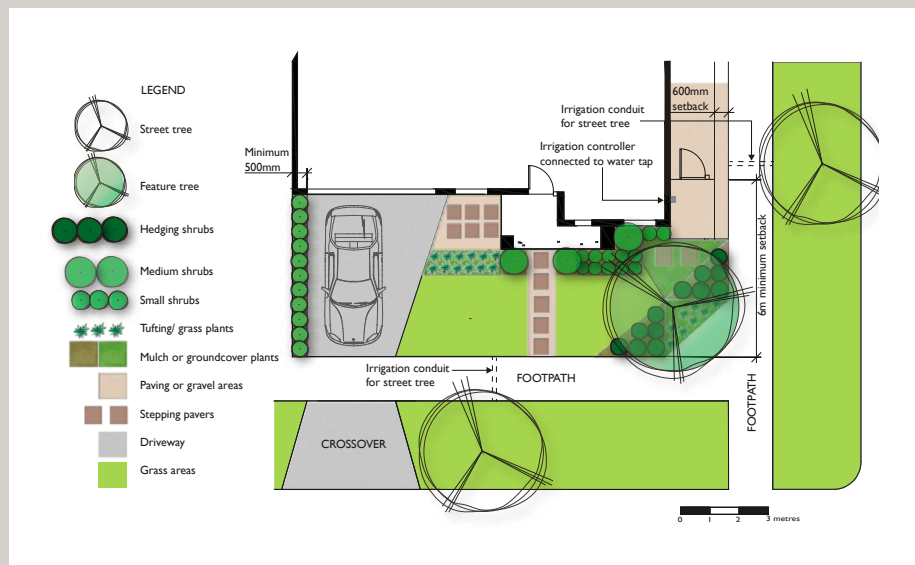


FIGURE 9 EXAMPLE OF FRONT LANDSCAPING TO CORNER LOTS

18. Driveways

- (a) Only one driveway is permitted per allotment.
- (b) Driveways must be completed prior to occupancy.
- (c) Driveways must be constructed from: coloured concrete, exposed aggregate, slate or stone pavers. *Refer to Figure 10.*
- (d) Uncoloured concrete driveways are not permitted.
- (e) A minimum 500mm landscape strip is required between the driveway and boundary to allow for planting. *Refer to figure 11.*
- (f) Driveways should be no wider than the total width of the garage, tapering to match with the location of the existing crossover.

18. Driveways- Continued

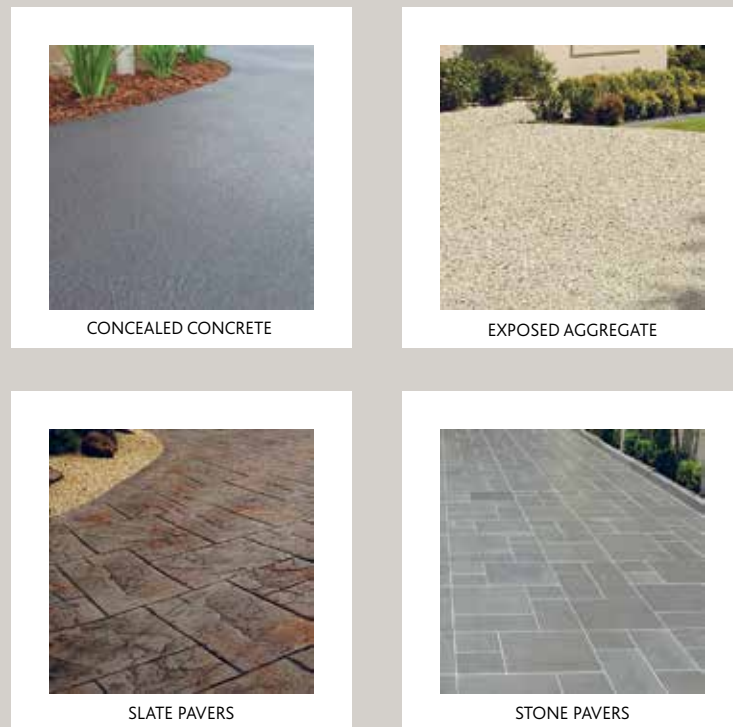


FIGURE 10 ACCEPTED DRIVEWAY MATERIALS

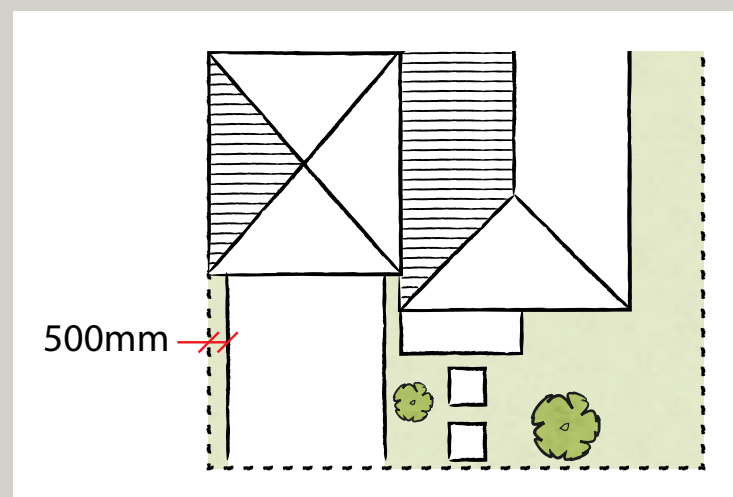


FIGURE 11 MINIMUM 500MM LANDSCAPING STRIP

19. Fencing

- (a) To promote integrated housing and open streetscapes, fencing forward of the building alignment is strictly prohibited. Fencing extending forward of the building alignment will be required to be removed within 14 days of Stockland's written request, at the allotment owners expense. It is the allotment owner's responsibility to ensure fencing is installed in accordance with the Design Guidelines.
- (b) Side boundary fencing between allotments is required to be setback a minimum of 6 metres from the front boundary and a minimum of 1 metre behind the adjoining façade and return from the boundary to connect with the side of the dwelling. *Refer to Figure 12.*
- (c) Where the side boundary is the rear boundary of an adjoining allotment, the fence is permitted to extend to the front boundary.
- (d) Side and rear boundary fencing is to be constructed of 1800mm timber paling with 20mm overlap, top capping, posts at 2700mm spacing. *Refer Figure 13.*
- (e) Front fencing is not permitted except as may be designated by the Vendor in key presentation areas.
- (f) Fences are to be installed prior to occupancy.
- (g) The Vendor's liability for contribution to neighbour fencing is \$1. Should you wish to seek 50% reimbursement, you should wait until the adjoining lot is settled and then seek contribution from your future neighbour.

19. Fencing - Continued

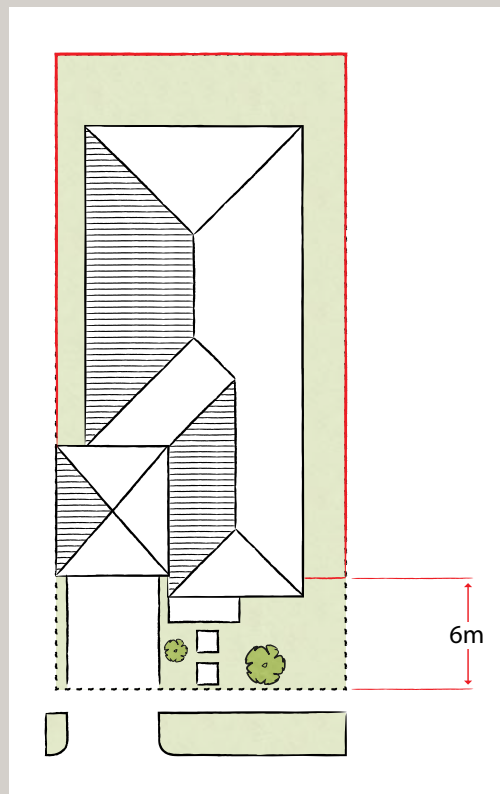


FIGURE 12 MINIMUM FENCE SETBACK

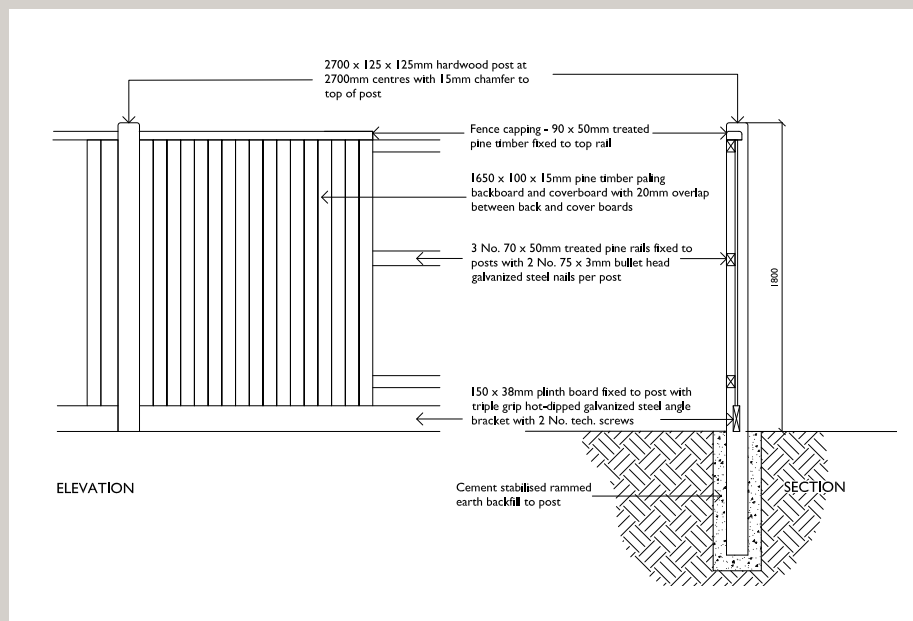


FIGURE 13 SIDE AND REAR BOUNDARY FENCING REQUIREMENT

20. Letterboxes

- (a) Temporary and ornamental letterboxes are not permitted.
- (b) Letterboxes should be constructed to complement the dwelling. They should be constructed where they are clearly visible and with a number clearly displayed. *Refer to Figure 15.*
- (c) Letterboxes are to be installed prior to Certificate of Occupancy being issued.

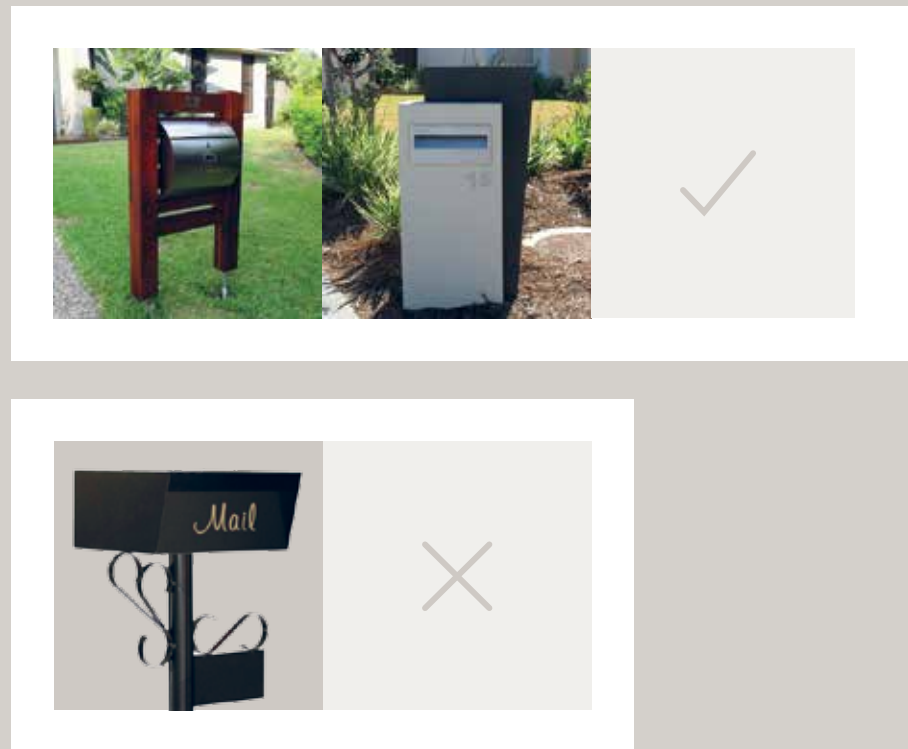


FIGURE 15 ACCEPTED LETTERBOXES

21. Window Furnishings

- (a) Internal window furnishings which can be viewed by the public must be fitted within three months of occupancy.
- (b) Sheets, blankets, foil, or similar materials for which window furnishings is not their primary purpose are not permitted.

ANCILLARY BUILDINGS AND STRUCTURES

OBJECTIVE

Additional structures and 'add-ons' can be detrimental to the streetscape. The intention is to minimize the visual impact of any outbuilding structures, mechanical equipment and service areas. These areas and structures should be positioned as to not visually impact the street or neighbouring properties.

22. Sheds and Outbuildings

- (a) Outbuildings are to be positioned in the rear yard, so they are not visible from the street, including corner allotments, or reserves.
- (b) The maximum floor area of a shed is 15m².
- (c) Sheds are to have a maximum wall height of 2 metres, with an overall height no more than 2.4 metres.

23. Roof Mounted Equipment

- (a) Satellite dishes and TV aerials must be located within the roof space or if roof mounted, must not be visible from the street.
- (b) Roof mounted air conditioners; including Evaporative Cooling Units are to be of low profile, located below the ridge and a minimum of half way towards the rear of the dwelling. They are not to be located on side streets. *Refer to Figure 16.*
- (c) Solar panels for heating water or generating energy are exceptions to this requirement.



FIGURE 16 LOW PROFILE ROOF MOUNTED EVAPORATIVE COOLING UNIT

24. External Fixtures

- (a) Meter boxes, external hot water services, heating units, rainwater and storage tanks must be located so they are not visible from a street or public reserve. Their visibility should be limited and where possible colour matched to the dwelling.
- (b) External roller shutters are not permitted.
- (c) Exposed plumbing, waste pipes and vents are not encouraged and should be avoided. This does not apply to downpipes.
- (d) Clotheslines should not be visible from the street, including corners.
- (e) Advertising signs will only be allowed on a temporary basis for the sale of real estate. The sign is to be no larger than 2m² and must be taken down 7 days after the property has sold. Signs are only permitted to be displayed once a house has received certificate of occupancy. Advertising signs for the sale of vacant land are strictly prohibited. This does not apply to the Vendor who may erect its own signage as appropriate.

25. Definitions

BUILDING	Dwelling house, garages, outbuildings, swimming pools, garden sheds, pergolas/verandahs.
BUILDING HEIGHT	The vertical distance between the natural ground level and the peak of the roof of the dwelling (not including antennae, flues or chimneys).
DWELLING SIZE	Dwelling size excludes: garage, porch, verandah, pergola, alfresco and balcony areas. Dwelling size is to be measured inclusive of external wall faces.
BUILDING COVENANTS	This document, being an agreement between the Vendor and Purchaser. The Purchaser agrees to adhere to the terms set out in the agreement.
HABITABLE ROOM	A room used for living activities, e.g. family room, living room, meals, bedrooms.
PRIVATE OPEN SPACE	The external open areas around a dwelling that is intended exclusively for the residents' use for recreational purposes of the deemed dwelling.
SETBACK	The minimum distance between the wall and the property boundary line. The measurement is to be calculated to the outermost projection of the building for all front, side and rear setbacks.
STREET FRONTAGE	The front boundary of an allotment that fronts the road. On a corner allotment, the principle street frontage is deemed the shorter side.
VICTORIAN BUILDING REGULATIONS	All works must be carried out in accordance with Victorian Building Regulations 2006.
SITE COVERAGE	The area of the site covered by a Building as defined above.
BUILDING ALIGNMENT	The front wall of a Building. Porches, Porticos, Balconies or similar entry features will not be considered as the main building alignment for a building.

APPENDIX A

Preferred Planting List

TREES

BOTANICAL NAME

Acer palmatum
Acer x freemanii
Citrus species
Lagerstroemia indica
Magnolia grandiflora
Malus domestica
Malus ioensis
Olea europaea
Prunus cerasifera
Prunus x blireiana
Pyrus calleryana varieties
Pyrus ussuriensis

COMMON NAME

Japanese Maple
Maple Tree
Lemon/ Lime/ Orange
Crepe Myrtle
'Little Gem' Dwarf magnolia
Apple Tree
Crab Apple
Olive Tree
Cherry Blossoms
Ornamental Flowering Plum
Ornamental Pear
Manchurian Pear

SHRUBS

BOTANICAL NAME

Acmena smithii
Azalea varieties
Camellia japonica
Camellia sasanqua
Choisya ternata
Correa alba
Gardenia augusta
Lavandula angustifolia
Pittosporum varieties
Rosmarinus officinalis
Westringia
Viburnum tinus

COMMON NAME

'Minor' Dwarf Lilly Pilly
Azalea
Japanese Camellia
Small-leafed Camellia
Mexican Orange Blossom
Coast Correa
Gardenia
English Lavender
Pittosporum
Rosemary
'Wynabbie Gem' Westringia
Laurestinus

APPENDIX A – Continued



ACER PALMATUM



WESTRINGIA 'WYNYABBIE GEM'



OLEA EUROPAEA



GARDENIA AUGUSTA



PYRUS CALLERYANA

APPENDIX A – Continued

GRASSES AND TUFTING PLANTS

BOTANICAL NAME

Cordyline australis
 Dianella revoluta
 Festuca glauca
 Liriope muscari
 Phormium tenax

COMMON NAME

Cabbage Tree
 'Little Rev' Dianella 'Little Rev'
 Blue Fescue
 Turf Lily
 New Zealand Flax

CLIMBERS

BOTANICAL NAME

Jasminum officinale
 Pandorea jasminoides 'Bower of Beauty'
 Solanum jasminoides
 Trachelospermum jasminoides
 Wisteria sinensis

COMMON NAME

Jasmine
 Pandorea 'Bower of Beauty'
 White Potato Creeper
 Star Jasmine
 Chinese Wisteria

GROUND COVERS

BOTANICAL NAME

Brachyscome multifida
 Carpobrotus glaucescens
 Convolvulus mauritanicus
 Euphorbia myrsinites
 Juniperus sabina
 Rosmarinus officinalis
 Viola hederacea

COMMON NAME

Cut-leafed Daisy
 Coastal Noon Flower
 Blue Convolvulus
 Myrtle Spurge
 Juniper
 'Prostratus' Creeping Rosemary
 Violet

SOIL PREPARATION

In preparing garden beds for planting, the addition of organic matter will assist plant establishment. For more information visit the following website:

https://www.wyndham.vic.gov.au/environment/sustainableliving/sustainable_garden_guide

APPENDIX A – Continued



DIANELLA REVOLUTA 'LITTLE REV'



CONVOLVULUS MAURITANICUS



PHORMIUM TENAX



EUPHORBIA MYRSINITES



BRACHYSCOME MULTIFIDA



VIOLA HEDERACEA

An approval issued under these Design Guidelines is not an approval under the requirements of the Building Act, or any other Act or Regulation. The documents provided have not been checked for compliance with structural, health, or planning requirements, or for the suitability of the building for the use to which it may be intended. Accordingly, Stockland Development Pty Limited, its Architects, and/or its employees or representatives do not accept responsibility for the suitability or soundness of construction of the completed buildings of the associated site development works.

SALES AND INFORMATION CENTRE
333 POINT COOK ROAD, POINT COOK, VIC 3030

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