

# Waterlea



ROWVILLE

Discover Modern Heritage



Stockland

Vision02

Discover Waterlea’s unique offering of modern living in a heritage setting.

Process10

Start dreaming of moving into your new home with no hidden surprises.

Location12

Explore the local wonder of Waterlea.

Your new home18

Enjoy the best of modern living.

Meet the Team30

Find out more about Stockland and our architect partners, GroupGSA.





## Discover Modern Heritage at Waterlea

At Waterlea in Rowville, you're not just buying a state-of-the-art new home, you're buying into a unique lifestyle. Where modern meets heritage, where forward-thinking meets tradition, where contemporary design and urban style all blend into a naturally-inspired, harmonious whole. Until now, Waterlea has been South East Melbourne's best-kept secret.







## Surrounded by hectares of natural wonder

With the restoration of the Stamford Park precinct by Knox City Council underway, Waterlea will become a destination for residents and visitors alike.

The landscaped Wetlands, with boardwalks, pathways and extensive planting will also feature an adventure play space with natural obstacle courses and fitness equipment. The spacious Village Green will be perfect to relax with friends, and connected to both will be the neighbourhood Playground, designed to cater to all generations and abilities.

Whatever you feel like, the surrounding beauty of Stamford Park will be an extension of your new home and an oasis for you to explore and enjoy.







## Homestead is where the heart is

Nestled in the perfectly-manicured grounds at the entrance to Waterlea, history and heritage meets new world wonder at the restored Stamford Park Homestead. Originally built in 1882 by the Row Family, the beautiful heritage building has re-opened its doors, transformed into a café, restaurant and social hub for residents and visitors of Waterlea, by renowned restaurateur, Jason M Jones.



Thoughtfully-crafted  
community living

A collection of 2, 3 and 4 bedroom contemporary townhomes and homes designed by GroupGSA Architects and crafted to bring out the very best in community living. Each home has been designed to perfectly complement modern lifestyles, now and into the future.







## The Stockland way

At Stockland, we understand how much there is to weigh up when it comes to finding your dream home. Which is why we are committed to creating communities where future residents can turn their dreams into reality.

We will also guide you through everything, from paying the deposit to moving in, helping make everything as smooth as possible.

We help you choose the design of your home, and, once you're ready, we take a deposit of the purchase price to secure your home. The balance isn't required until settlement – giving you more time to save.

We've also made sure that your new home will have those extra things that are sometimes missed, like air conditioning and landscaping, so you can have peace of mind in knowing that you can really start living in your new home from day one.

During the build, we'll be in touch to keep you up to date with your home's progress, then guide you through the settlement process. And, once everything is legally completed, you'll need to pay the balance of the purchase price at settlement.

Then, you're ready to turn the key in the door of your new, ready-to-move-in home, with no hidden costs to worry about. It really couldn't be simpler.





SHOPPING	
Stud Park Shopping Centre	3 mins
Wellington Village Shopping Centre	8 mins
ALDI	5 mins
Westfield Knox Shopping Centre	12 mins
The Glen	17 mins
Mountain Gate Shopping Centre	11 mins
Caribbean Markets	9 mins
Mulgrave Farmers Market	9 mins

EDUCATION	
Rowville Primary School	5 mins
Rowville Secondary College	4 mins
Rowville Pre-School	5 mins
Rowville Secondary College Eastern Campus	9 mins
St. Simon The Apostle Primary School	7 mins
Heany Park Primary School	7 mins
Park Ridge Primary School	8 mins

CHILDCARE	
Goodstart Early Learning Rowville	3 mins
Rowville Lakes Early Learning & Kindergarten	3 mins
King Kids Early Learning Centre & Kindergarten	4 mins

PARKS AND OPEN SPACE	
Rowville Reserve	6 mins
Caribbean Gardens	9 mins
Churchill National Park	10 mins
Eildon Park	7 mins
Parkridge Reserve	7 mins

MEDICAL CENTRES AND HOSPITALS	
Stud Park Medical and Dental Centre	3 mins
First Health Medical Centre	3 mins
Kellets Road Medical Centre	6 mins
Rowville Health	6 mins
Rowville Central Clinic	4 mins
Mulgrave Private Hospital	9 mins

DINING	
The Stamford Park Homestead	1 min walk
The Stonez Restaurant	3 mins
Bella Cucina	3 mins
La Porchetta Rowville	4 mins
The Stamford	5 mins

Masterplan supplied for the purpose of providing an impression of Stockland Waterlea, and is not intended to be used for any other purpose. Indications of location, distance or size are approximate and for indicative purposes only. Subject to change. Not to scale. Customers should refer to the relevant plans in the contract of sale. All details, images and statements are based on the intention of, and information available to, Stockland as at the time of publication (September 2019) and may change due to future circumstances. Information and images relating to landscaping are indicative only and may show mature plantings which may not be mature at settlement.



Welcome to  
your new local



Explore local

Walking, exploring and discovering is a pleasure when you're surrounded by hectares of natural wonder. Landscaped parklands and wetlands, and Waterlea's own Central Park will be the perfect destination for morning jogs, family bike rides, sunset walks or weekend adventures.

Grow local

Rowville Primary and Secondary Schools are just a short drive away. Other nearby options include St. Simon The Apostle Primary School and The Knox School, as well as a selection of pre-schools and child care centres. Older students have easy access to Monash, Swinburne and Deakin Universities. Waterlea is the ideal location for growing families.



Shop local

Stud Park Shopping Centre is literally around the corner, and Wellington Village is just down the road. Also nearby are the vibrant and eclectic Caribbean Gardens, with featuring a popular market and fantastic family activities. Slightly further afield is Knox Westfield, one of the largest shopping centres in Melbourne. At Waterlea you really can shop until you drop!







Old-world elegance for modern-day enjoyment

With glorious grounds and gardens, animals, quaint nooks and crannies, sumptuous dining areas and relaxing chill-out zones, you'll find the Stamford Park Homestead less than a couple of minutes' stroll away. You'll never be short for entertainment ideas with outdoor moonlight cinemas, yoga on the lawn, cheese and wine nights or simply, your lazy Sunday morning breakfast.



Architect-designed  
homes to suit every  
lifestyle

The homes at Waterlea are designed to let the natural surroundings shine, with elegant, timeless materials that blend seamlessly with the walkable, landscaped streets.

All offer open-plan living spaces that keep maintenance to a minimum, so you can spend more time doing the things you love.

A higher standard of living

Being a 6-Star Greenstar Community means Waterlea meets the world's highest standards for liveability. Where getting together with neighbours and the surrounding community is effortless and, with all the connected bikeways and walking paths, it's easy to leave the car at home. As part of Rowville's established neighbourhood, local shops and schools are within a comfortable distance away, too.







Artist's impression. Subject to change. Street numbers shown are not final and are subject to change.



Artist's impression. Subject to change.  
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### Smart living today, for a better tomorrow

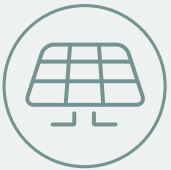
Your Waterlea home has been designed to meet the needs of you and your family, today and into the future. Solar panels – with provision for solar battery storage – allow you to save energy, while every home will have an electric vehicle charging point, so you're ready for when they become the norm.

Each home has a minimum 6-star NatHERS energy efficiency rating, thanks to features including rainwater tanks for the toilets and laundry, natural ventilation and smart insulation. All this is working to help keep your power bills down – and reduce your carbon footprint, so you're doing your part for the planet, too.

### Sustainability begins at home



Solar Battery Storage



Solar Panels



Electric Vehical Charging



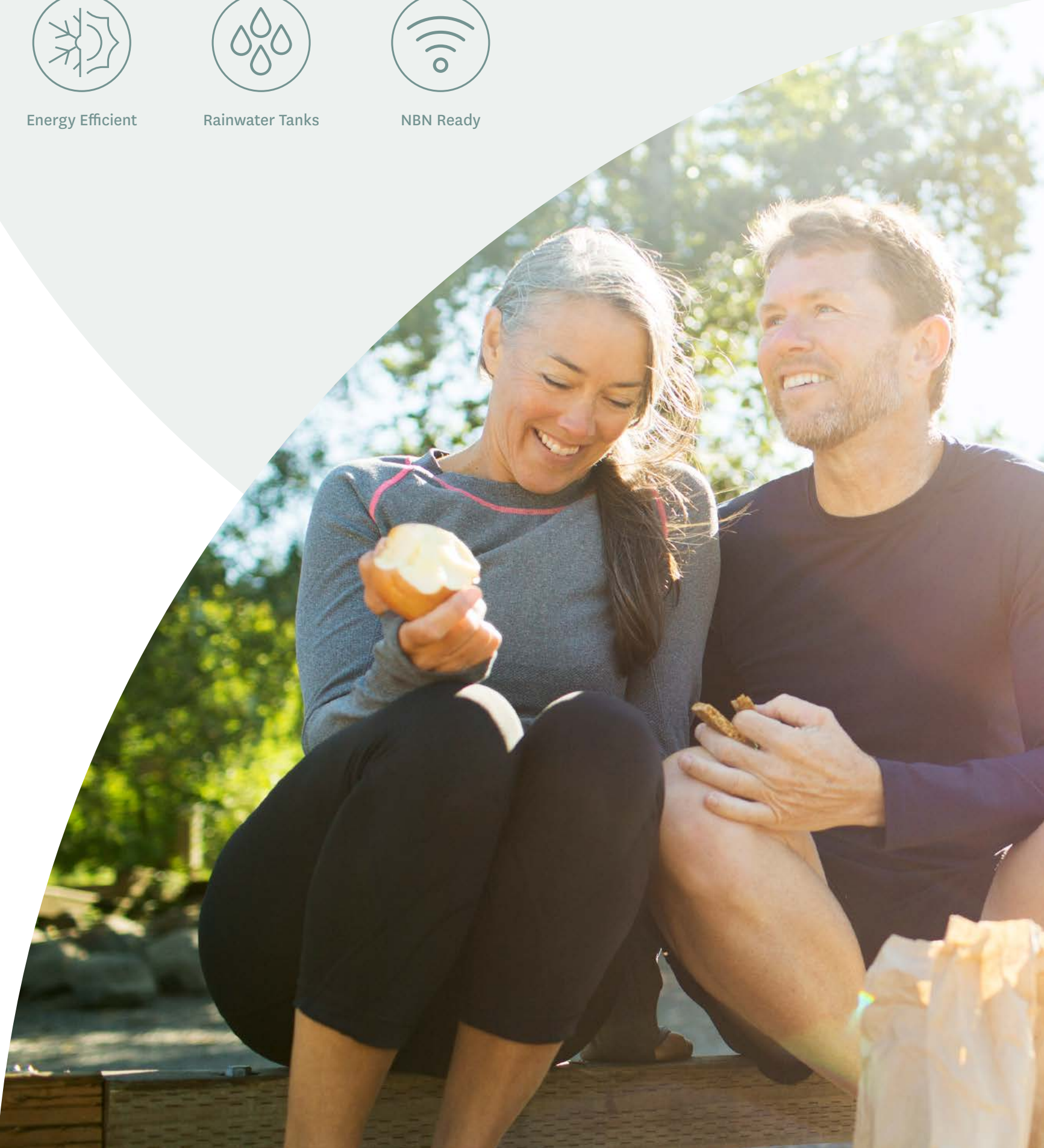
Energy Efficient



Rainwater Tanks



NBN Ready







## The home of your dreams, for the lifestyle of your choice

Each home has its own unique aspect and style. Some are single storey for easy living, others offer two floors – with options to enjoy the upper level views to the parklands from your bedrooms or your living areas. You really are spoilt for choice.





A seamless flow  
of light and space

With a choice of two colour schemes, flexible floor plans and a raft of thoughtful inclusions, the indoor living spaces flow harmoniously out to the outdoor areas that are perfectly designed for entertaining or simply relaxing in your own pocket of peace and quiet.





The heart of  
your home

The kitchen will be the heart of your new home, with quality appliances, beautiful finishes, an island bench to work on or chat around, clever storage solutions and more. Whatever your culinary skills, entertaining will be effortless.



Artist's impression. Subject to change. Furniture and fridge not included





Artist's impression. Subject to change. Furniture and fridge not included.

Little touches of luxury

The first thing you'll appreciate is the striking design and intelligent use of space. Then, the feature joinery, stone benches, quality appliances – the list of eye-catching inclusions goes on.

A stylish sanctuary

Our bright, clean-lined bathrooms are thoughtfully designed for minimal maintenance and maximum sophistication.



Artist's impression. Subject to change. Furniture not included.





Developer — Stockland

“We believe there is a better way to live.”



Stockland has been creating places that meet the needs of our customers and communities for over 60 years. Throughout this time our customers and communities have been growing, adapting, sharing and changing our places into their places. That sentiment has made us into Australia's leading property group with places as diverse as residential communities, townhouses, apartments, retirement living villages, retail and more.

As Australia's leading developer of Green Star Communities, we are committed to sustainability and always create places that both optimise liveability and preserve the environment. The health and wellbeing of our residents is of paramount importance to us, and we aim to create places where communities thrive. We make the places. You make them your own.



Architect — GroupGSA

“A passion for enhancing communities and creating positive choices for living environments.”

As architects, we understand great design needs to be in harmony with its surroundings and users. We strive to make a positive impact on a building's occupants and the larger community it serves. Each project, small or large, has its own set of unique characteristics and challenges. As architects and designers we are problem solvers; finding creative solutions to our clients' challenges. We bring our collective experience across many sectors to workshop and bring innovative solutions at the project initiation stage, ensuring that the design vision is fully developed.



Stockland Altrove Townhomes, New South Wales, designed by GroupGSA.



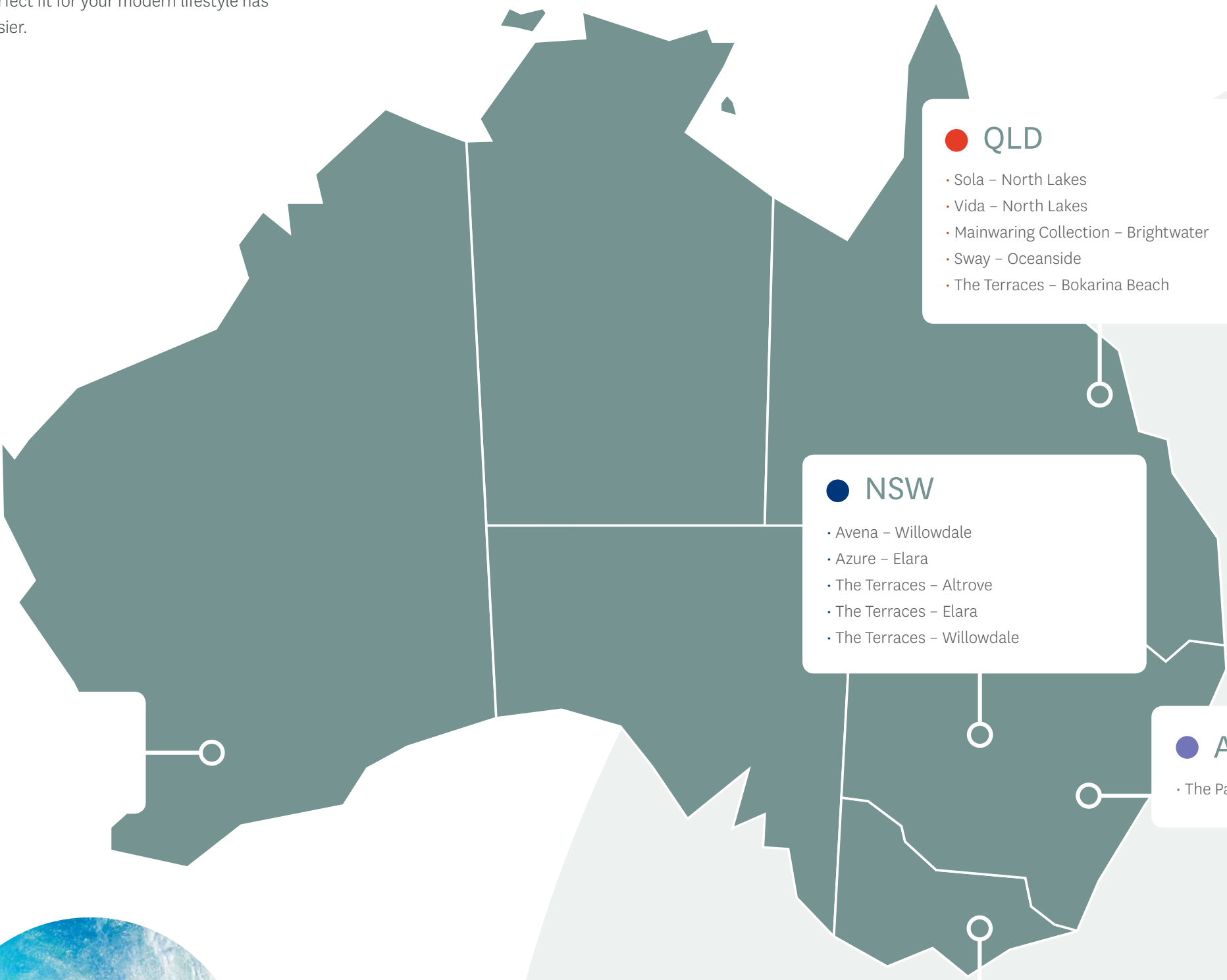
# Meet the team

## Stockland's national townhome communities

As our everyday world changes, our living spaces evolve to suit our modern lifestyles.

Our townhomes are thoughtfully designed to ensure they best suit your changing needs. Size up or size down – this is your chance to tailor your home to your lifestyle. Inside and out, everything has been designed to require the least maintenance, so that you can spend more time doing the things you love.

Finding the perfect fit for your modern lifestyle has never been easier.





## Ready to start your journey?

Contact Stockland today on:  
13 52 63 or email  
[waterlea@stockland.com.au](mailto:waterlea@stockland.com.au)

This brochure is provided solely for the purpose of providing an impression of the proposed development called "Waterlea" (as well as the approximate location of existing and proposed third party facilities, services or destinations) and the contents are not intended to be used for any other purpose. Any statements of distance or size are approximate and for indicative purposes only. No representations and no warranties are given about the future development potential of the site, or the current or future location or existence of any facilities, services or destinations. All images and statements are based on information available at the time of creation of this brochure (September 2019) and may change due to future circumstances. The use of the term "furniture" in this brochure includes, but is not limited to, indoor and outdoor furniture, decorative items, indoor and outdoor pot plants, fridge, rugs and wall shelving. Information and images relating to landscaping are indicative only and may show plantings which may not be mature at settlement. All distance and travel timeframe references are estimates only, refer to distance by car or driving time from the proposed Waterlea entry point (unless specified otherwise), and are based on information obtained from Google Maps at the time of publication September 2019.



